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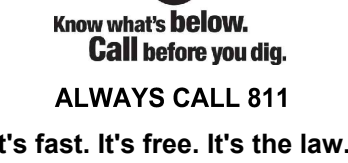
TPG DEVELOPMENT AND CONSTRUCTION

LOCATION OF SITE:
75 QUINSIGAMOND AVENUE, CITY OF WORCESTER
WORCESTER COUNTY, MASSACHUSETTS
MAP #5, BLOCK #23, LOTS #68-70, 72, 76, 93



BOHLER//

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
UTILITY PLAN	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
LANDSCAPE PLANS (BY OTHERS)	3 SHEETS
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	5 SHEETS

[illegible]

PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	W211067
DRAWN BY:	NPD
CHECKED BY:	RMM
DATE:	08/20/2021
CAD I.D.:	W211067-CVL-0

PROJECT:

**PROPOSED SITE
PLAN DOCUMENTS**

FOR _____

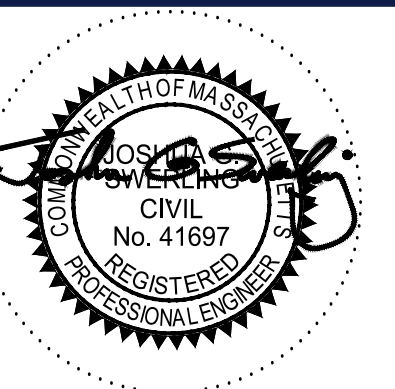
TPG DEVELOPMENT
AND CONSTRUCTION

**PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
5 QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS**

BOHLER //

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

REVISION 1 - 10/27/21

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "ALTANSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 08/18/21.
- "GEOELECTRICAL ENGINEERING REPORT", PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC., DATED 06/20/21.
- "PHASE I ENVIRONMENTAL SITE ASSESSMENT", PREPARED BY CMG, DATED 04/20/21.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKIA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. A CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOELECTRICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR INCONSISTENCY BETWEEN THE GEOELECTRICAL REPORT AND THE GEOELECTRICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOELECTRICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY CONSTRUCTION.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR WHICH IS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES).

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONCLUSION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE FOR SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLES, WIRING CONDUITS, AND ANY UNDERGROUND EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOELECTRICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY THE RESPONSIBILITY OF ENGINEERING SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT, AND FUTURE OWNERS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH COVERAGE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR TO COMPLY WITH THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS. CONTRACTOR MUST BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE STATE OF MASSACHUSETTS. WORK AND UPON RENEVAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, SUITS, TORT DAMAGES, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH AND TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS, WHILE A F.A.S. REVIEWER CONDUCTS A PRELIMINARY REVIEW. BOHLER ENGINEERING'S REVIEW DOES NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCING, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLYING WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAIID FAILURE.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS AND DESIGN AND, FURTHER, ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO DO SO. THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAIID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAIID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE: ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION; OR TWO (2) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROCEED UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SPACE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE SPECIFICATIONS AND/OR ORDINANCES AND/OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORKS AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/INSTALLATIONS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES WITH ANY EXISTING UTILITIES AND ENSURE THAT ALL CONFLICTS ARE AVOIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL IMPROVEMENTS COMPLY WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE, WHERE A CONFLICTS EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VALVE, PRIOR TO COMMENCING CONSTRUCTION.

8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION STANDARDS.

9. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOELECTRICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOELECTRICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOELECTRICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOELECTRICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOELECTRICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. IT SHOULD SUBGRADE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE. SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOELECTRICAL REPORT. ROADWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOELECTRICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. ROADWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATION FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOELECTRICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOELECTRICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

11. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY STATE OR LOCAL REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. PAYMENT MUST BE SAID CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH THE APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

14. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEViate FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

15. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP AND MUST CAP AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

16. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME.

17. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% SLOPE TO DRAIN GRADES ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

18. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

19. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

20. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

21. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHITO M24 AND TYPE 8 (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR FLOOR DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

22. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

- FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
- FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
- FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

23. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

24. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

25. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL. REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

26. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

27. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-UNED DUCTILE IRON (DI) MINIMUM CLASS 52 THICKNESS, ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

28. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

29. LOCATION OF PROPOSED UTILITY POLE RELLOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

30. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND THEREIN, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "ALTANSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 08/18/21.
- "GEOELECTRICAL ENGINEERING REPORT", PREPARED BY PAUL B. ALDINGER & ASSOCIATES, INC., DATED 06/20/21.
- "PHASE I ENVIRONMENTAL SITE ASSESSMENT", PREPARED BY CMG, DATED 04/20/21.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATING WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW STANDARDS FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST BE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

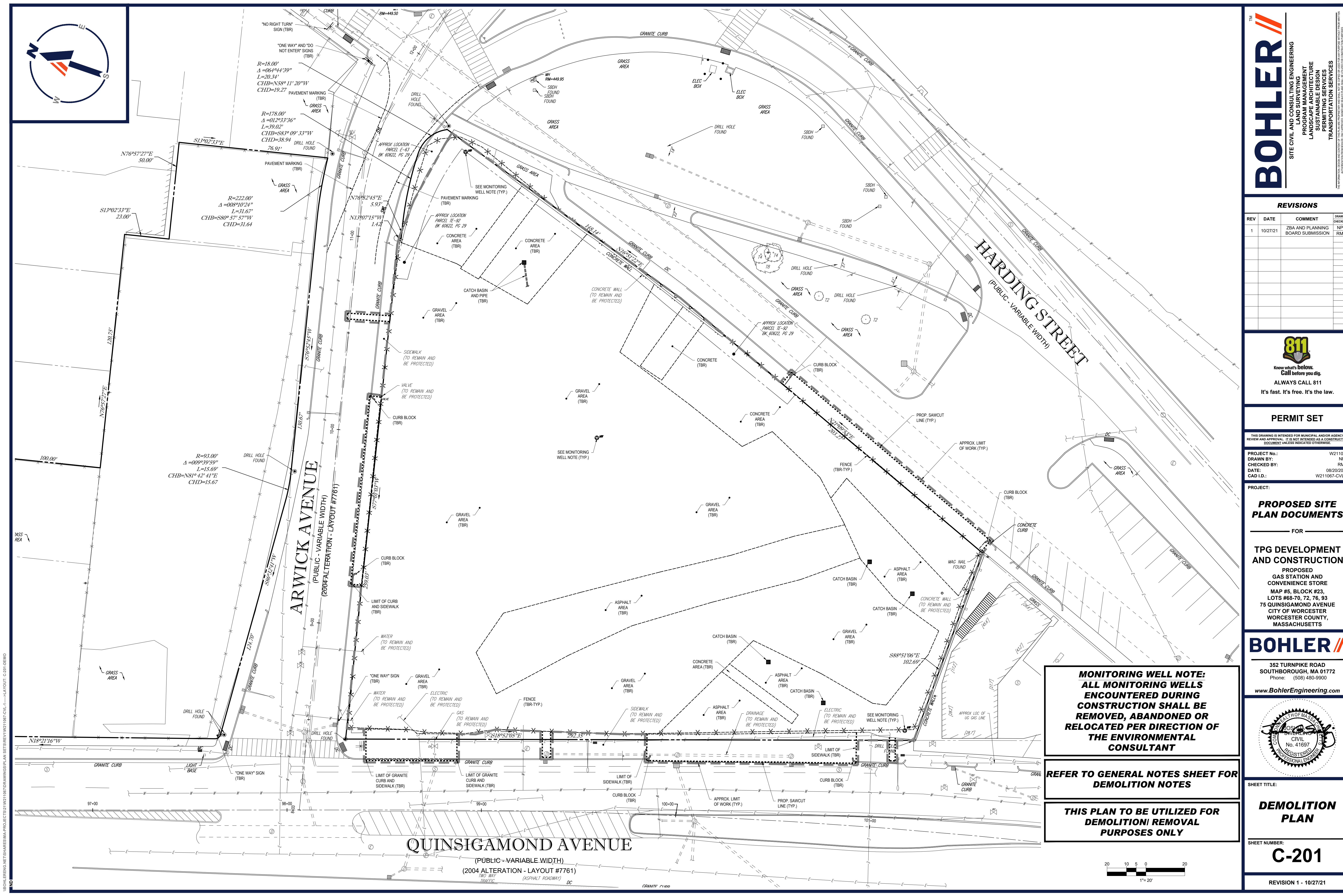
9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOELECTRICAL ENGINEER.

10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOELECTRICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

12. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.

13. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPEN



REVISIONS



PERMIT SET

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PROJECT:

FOR -

**PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS**

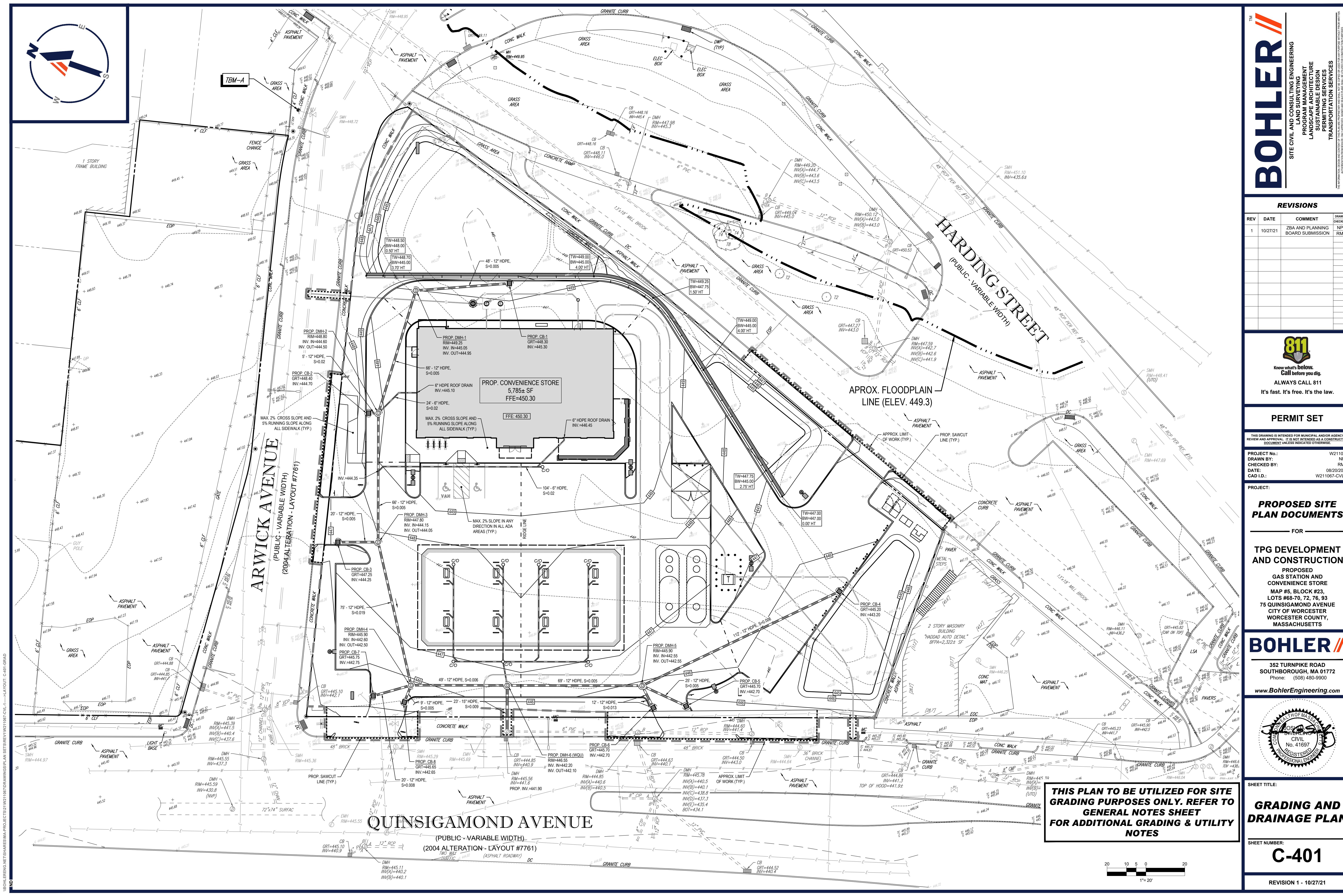
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com

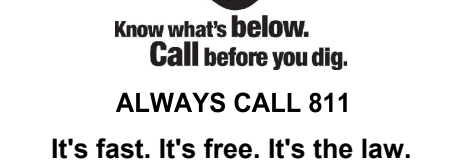


SHEET NUMBER: _____

REVISION 1 - 10/27/21



REVISIONS			
REV	DATE	COMMENT	DRAWING CHECKED BY
1	10/27/21	ZBA AND PLANNING BOARD SUBMISSION	NP RM



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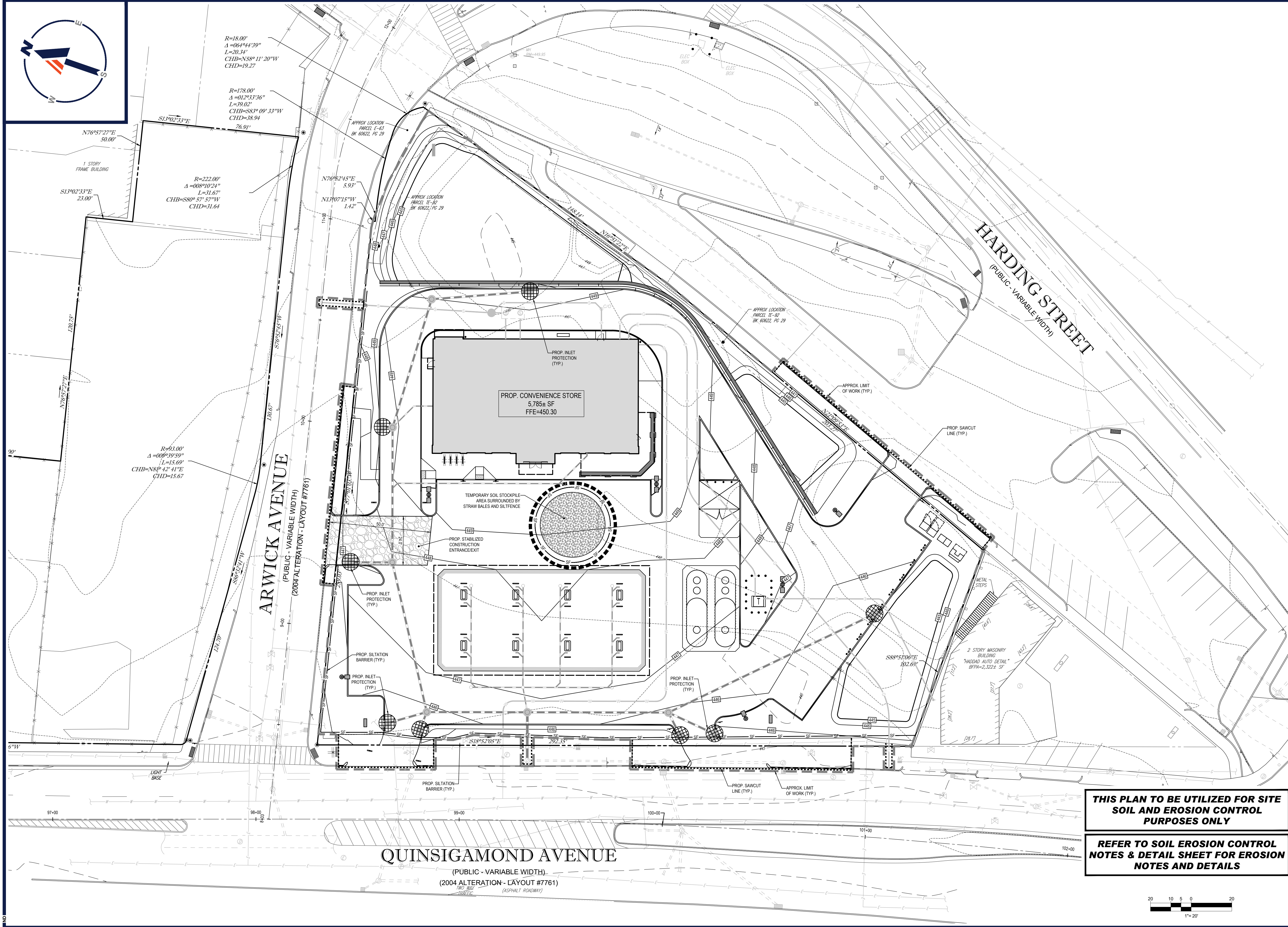
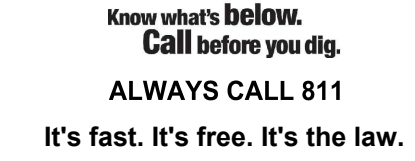
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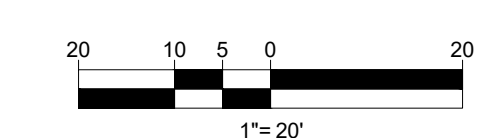
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75 QUINSIGAMOND AVENUE
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MASSACHUSETTS**



SHEET NUMBER: _____

REVISION 1 - 10/27/21

**REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR EROSION
NOTES AND DETAILS**



EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.

10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).

10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.

10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH		
LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS	185-275 POUNDS
	STRAW (ANCHORED)*	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
	GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:

7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.

7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

CONSTRUCTION SEQUENCE

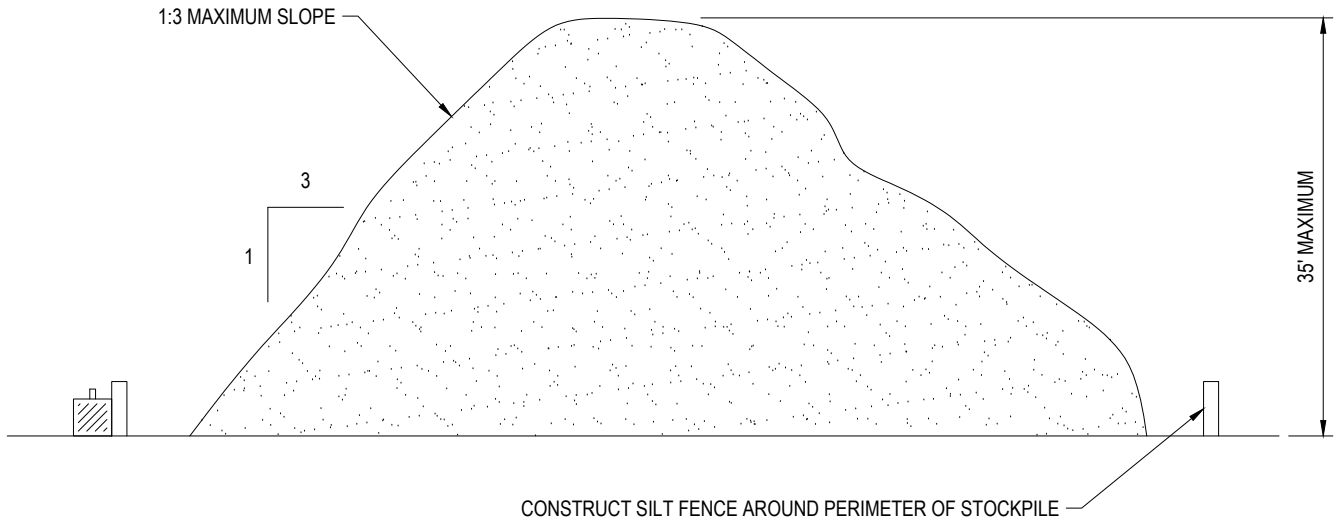
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- INSTALLATION OF BINDER COURSE PAVEMENT
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- INSTALLATION OF TOP COURSE PAVEMENT
- LANDSCAPING
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.

N.T.S.

TREE PROTECTION DURING CONSTRUCTION

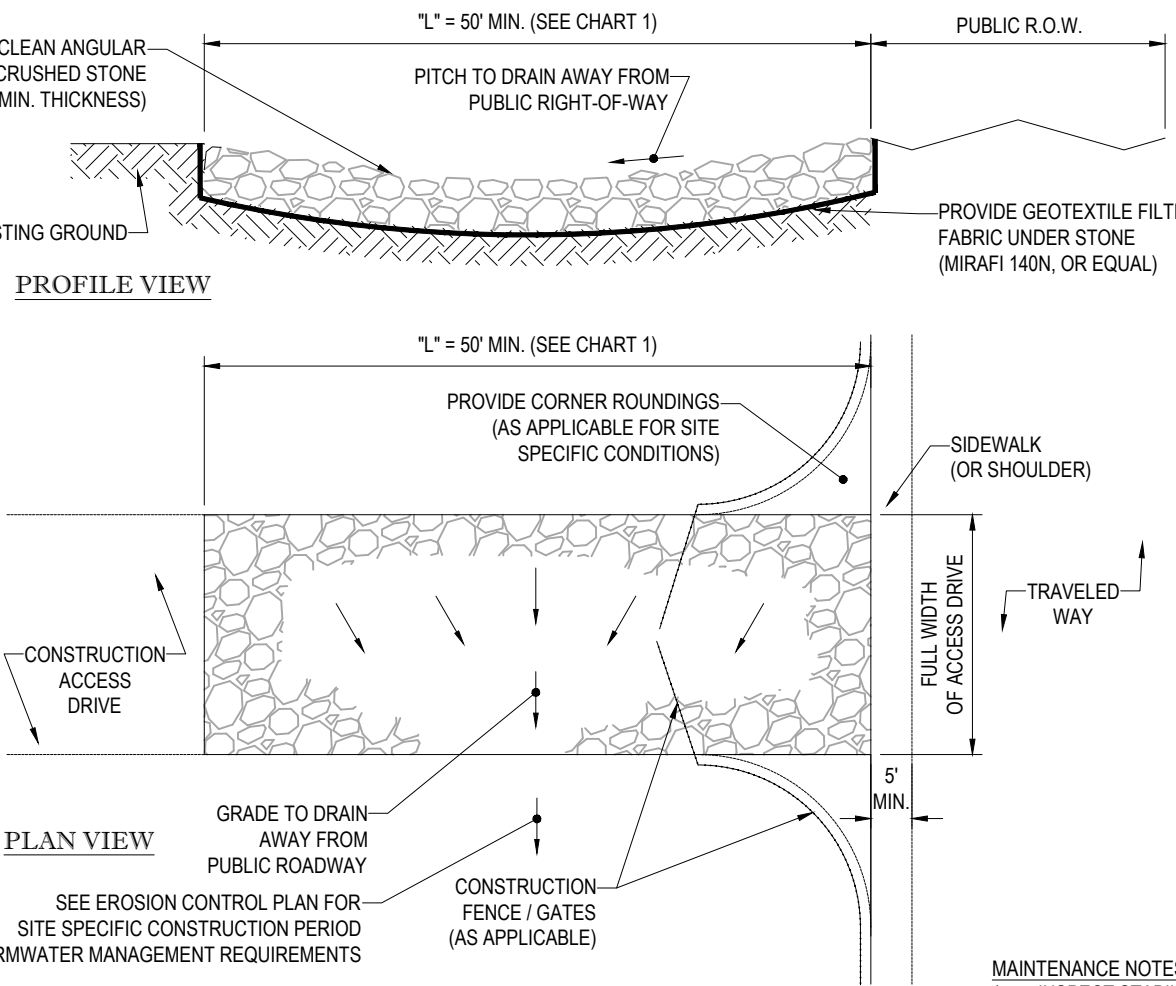
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N.T.S.

TEMPORARY STOCKPILE

N.T.S.

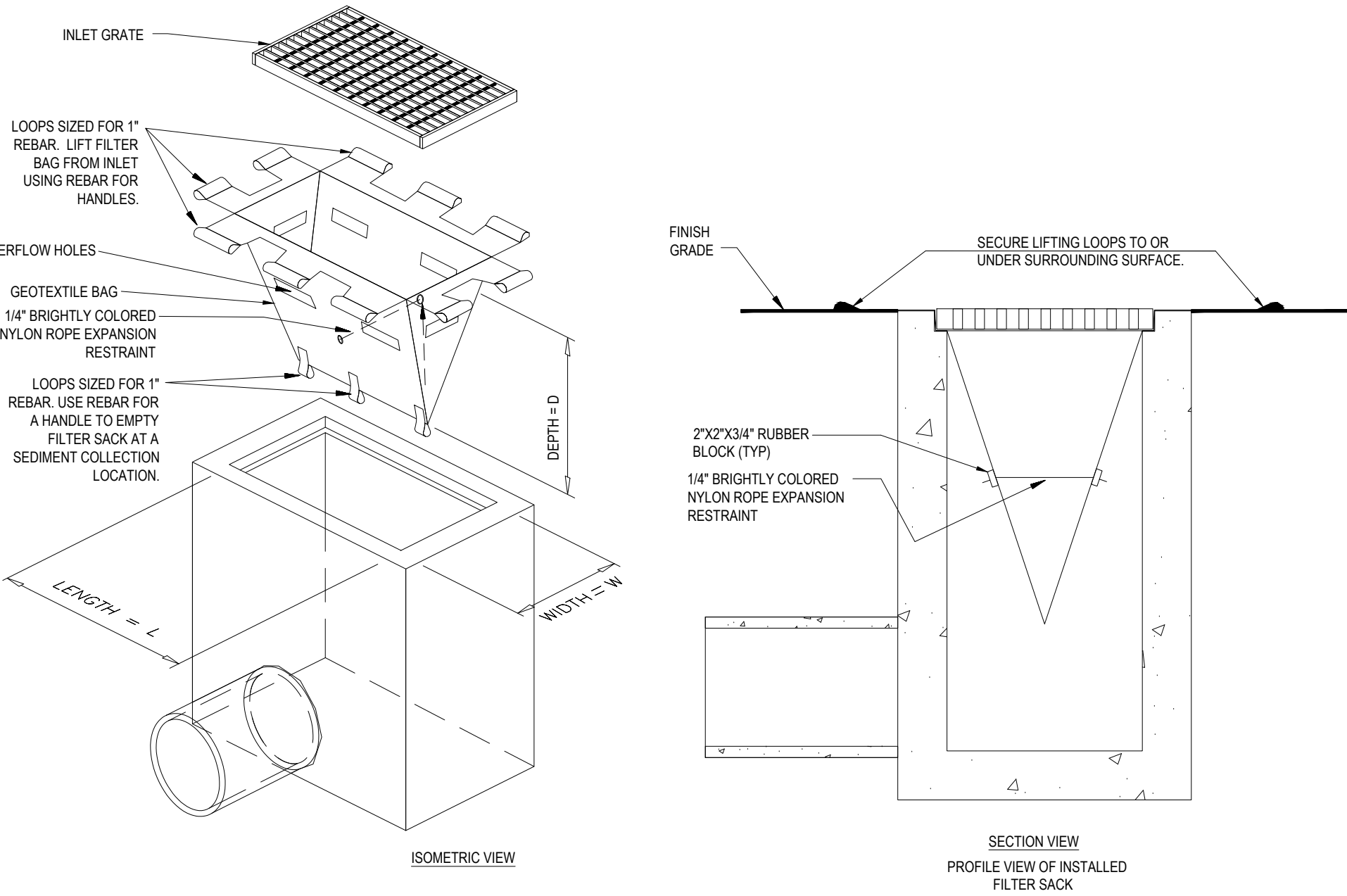


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

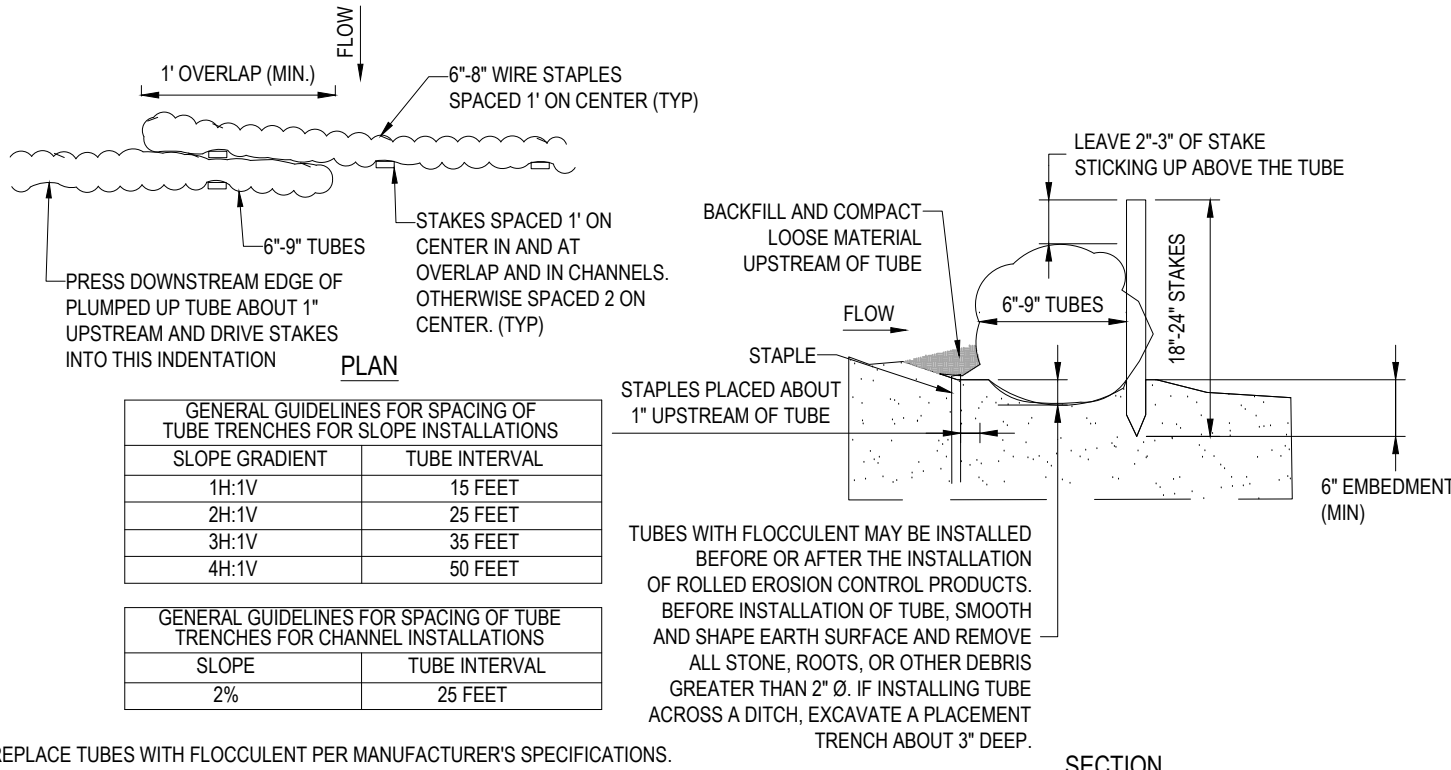
STABILIZED CONSTRUCTION EXIT

N.T.S.



FILTER SACKS (GRATED INLETS)

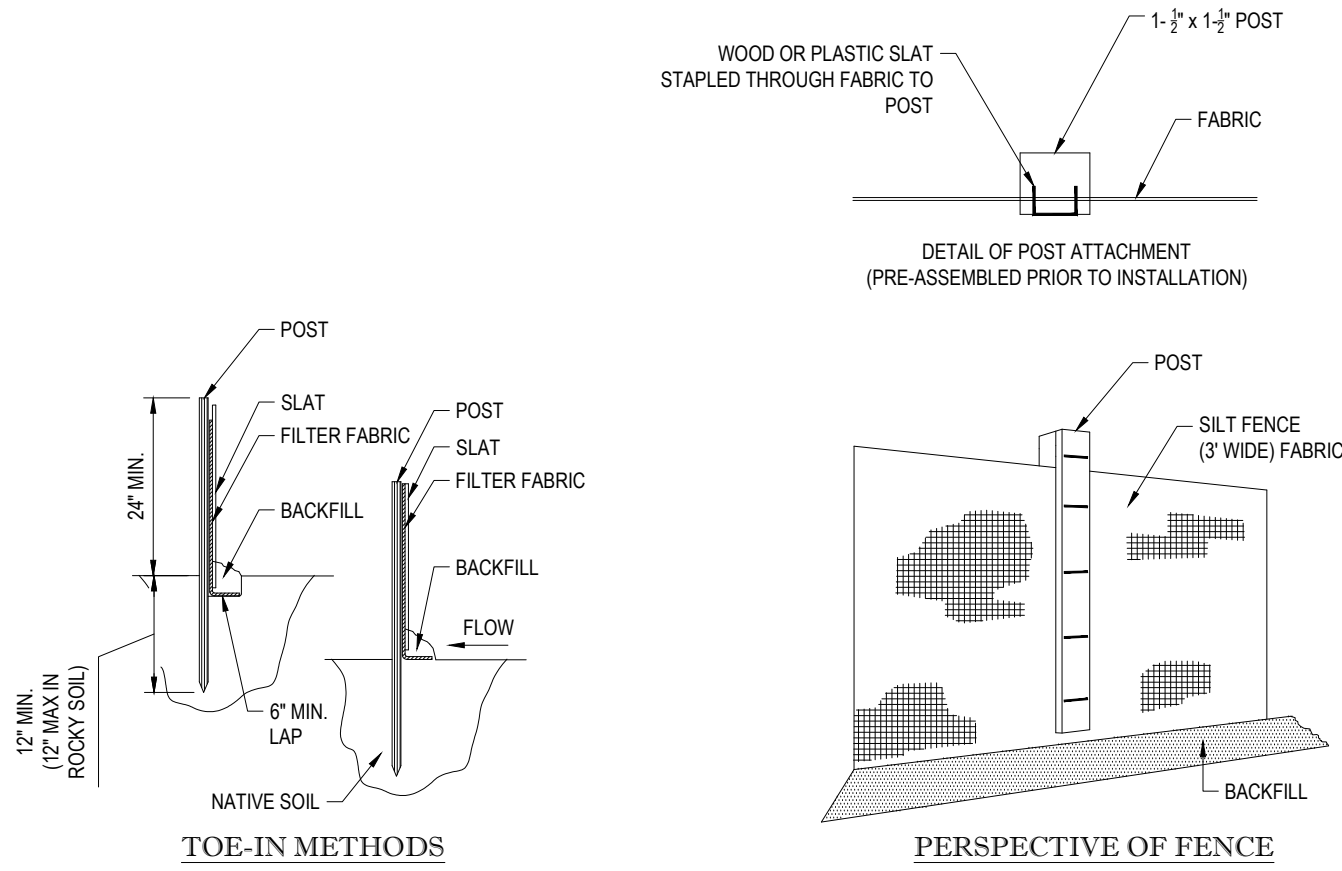
N.T.S.



FIBER FLOCCULENT TUBE

N.T.S.

- INSTALLATION:
1. EXCAVATE A 6\"/>



SILTATION FENCE

N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W," OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D," OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L," OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
TO BE USED IN EXISTING RIGHT OF WAY

TM

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	10/27/21	ZBA AND PLANNING BOARD SUBMISSION	NPD	RMM



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PROJECT No.:	W211067
DRAWN BY:	NPD
CHECKED BY:	RMM
DATE:	08/20/2021
CAD I.D.:	W211067-CVL-0

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

TPG DEVELOPMENT AND CONSTRUCTION

PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
75 QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
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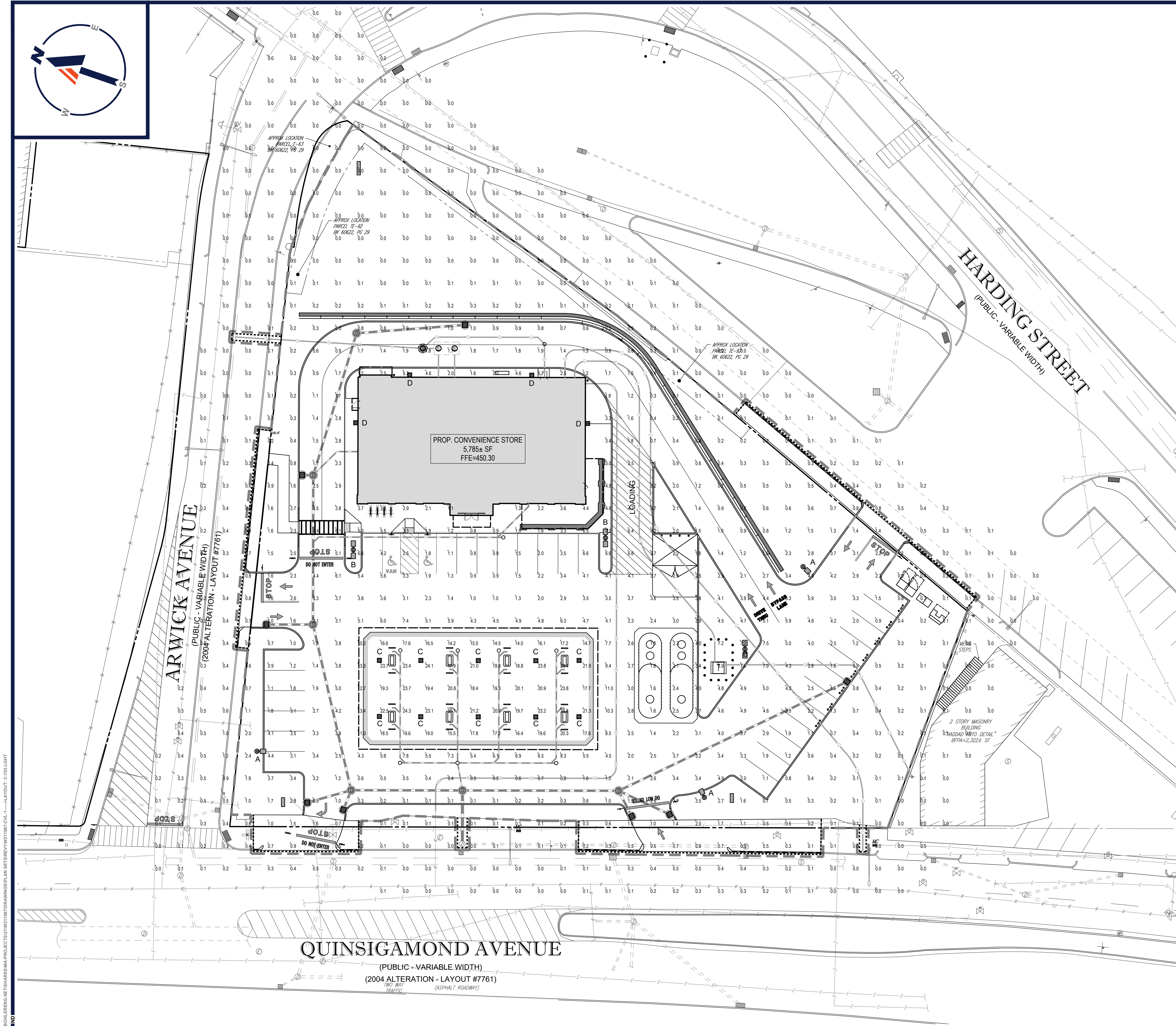


SHEET TITLE:
EROSION AND
SEDIMENT
CONTROL NOTES
AND DETAILS

SHEET NUMBER:

C-602

REVISION 1 - 10/27/21



LIGHTING NOTES

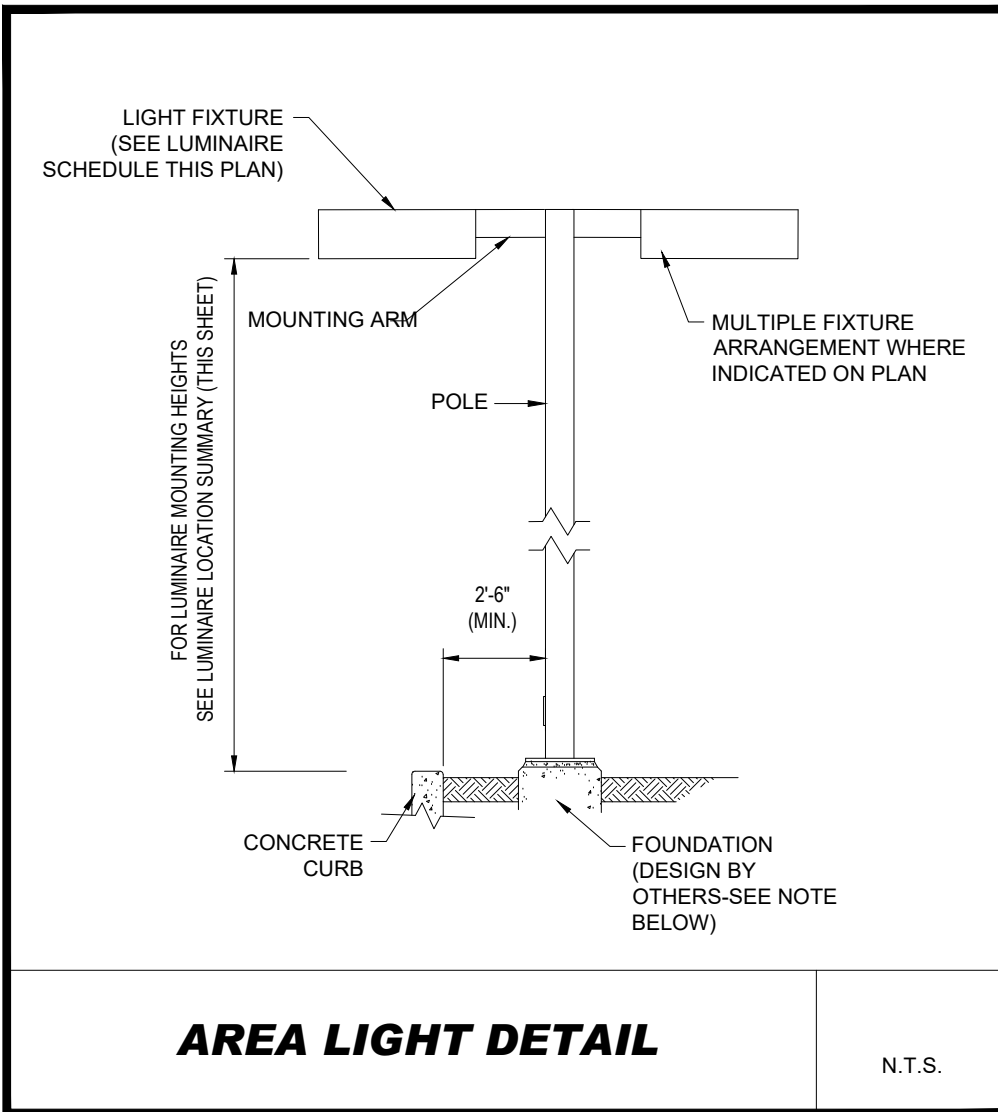
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDELS.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

NUMERIC SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
AREA SUMMARY	ILLUMINANCE	FC	5.39	24.8	0.2	26.95	124.00

LUMINAIRE SCHEDULE

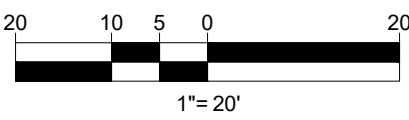
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
A	3	SINGLE	11648	0.90	CREE INC. LED AREA LIGHT TYPE III MOUNTED @ 20' OSQ-A-NM-3ME-B-57K-UL-XX
B	3	DOUBLE @ 180	11648	0.90	CREE INC. LED AREA LIGHT TYPE III MOUNTED @ 20' OSQ-A-NM-3ME-B-57K-UL-XX
C	10	CANOPY	13251	NPD	CREE INC. LED CANOPY LIGHT MOUNTED @ 15' CAN-34R-S-B-E-UL-XX-700-S7K
D	4	BUILDING	4270	0.90	CREE INC. LED BUILDING LIGHT MOUNTED @ 12' XSPW-B-3ME-4L-40K-UL



NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC., AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



REVISIONS

REV	DATE	COMMENT	BY	CHECKED BY
1	10/27/21	ZBA AND PLANNING BOARD SUBMISSION	NPD	RMM



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PROJECT No.: W211067
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 08/20/2021
CAD I.D.: W211067-CVL-0

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR

TPG DEVELOPMENT AND CONSTRUCTION

PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
75 QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:

C-703

REVISION 1 - 10/27/21



REVISION 1 - 10/27/21



PLAN VIEW

ADJUST TO GRADE WITH
RED BENDER BRICK (12" RING)

12" GRAVEL BACKFILL

WALL SECTION (2" O.C. TYPICAL)

12" RING JOINT SEE DETAIL

BRICKS SET IN 4" OF MORTAR;
RED BENDER BRICK ONLY
JOINTS GROUTED FULL

CONCRETE RING

COMPACTED GRAVEL
SLOTTED (2" MINIMUM)

SECTION A-A

VERTICAL STANDARD
FRAMES & OTHER LUMINOUS
POWDERY MORTAR, LG.
SAND, SLOTTED, OR C&G
1050/1050A

STANDARD PRECAST CONE
SECTION CONCRETE

12" LINEAR FOOT 0' OR 4' MAX.
0.18 IN./L.F. (FOR 3' MAX.)
0.17 IN./L.F. 0' OR 4' MAX.)

WINDLIFT PRESSURE
COST BASE

PITCH=1/4" PER FT. (1/4")

4" MIN.

SECTION C-C

12" RING JOINT DETAIL

REINFORCEMENT

KITZ-BELL
CORE PRODUCT

12" RING

BOOT

SEPTEMBER 13, 2009

TYPICAL MANHOLE

NOT TO SCALE

SHEET 1 OF 1

DEPARTMENT OF
PUBLIC WORKS AND PARKS
Engineering Division
35 West Washington St., Worcester, MA 01604

DATE

REVISION

**CITY OF WORCESTER
PRECAST DRAIN MANHOLE**

CITY OF WORCESTER
MANHOLE FRAME AND COVER

Diagram illustrating the cross-section of a trench and its surrounding layers. The diagram shows the following components and dimensions:

- FINAL BACKFILL**: The top layer of the trench, indicated by a diagonal hatching pattern.
- MIN. COVER TO FLEEBLE PAVEMENT, H**: The vertical distance from the top of the final backfill to the top of the flexible pavement.
- INITIAL BACKFILL**: The layer immediately surrounding the pipe, indicated by a circular pattern.
- SPRINGLINE**: The top edge of the pipe, indicated by a horizontal line.
- HAUNCH**: The side slopes of the trench, indicated by a diagonal hatching pattern.
- BEDDING**: The layer supporting the pipe, indicated by a cross-hatching pattern.
- SUITABLE FOUNDATION**: The base layer of the trench, indicated by a cross-hatching pattern.
- MIN. TRENCH WIDTH (SEE TABLE)**: The minimum width of the trench, indicated by a horizontal dimension line.
- 4" FOR 12"-24" PIPE**: The minimum thickness of the bedding layer for pipes with diameters between 12 inches and 24 inches.
- 6" FOR 30"-60" PIPE**: The minimum thickness of the bedding layer for pipes with diameters between 30 inches and 60 inches.

PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

3. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2221, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE PINES INTO BACKFILL MATERIAL WHEN REQUIRED.
3. FOUNDATION WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTECHNICAL MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4" (100mm)-60mm; 6" (150mm) FOR 30" (60mm)-90mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2221, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GRADE SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOODING, FOR TRAFFIC PAVEMENTS. MINIMUM COVER IN H IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER OVER 48"-60" DIAMETER PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.

HDPE STORM DRAINAGE TRENCH

Section View AA illustrates the internal structure of a manhole. Key components and dimensions include:

- Run Vent to Inside of Building and Up to Roof:** Indicated by an arrow pointing upwards from the manhole structure.
- Two-Way Cleanout to Grade:** Located on the left side of the manhole.
- Inlet:** The entry point for wastewater into the manhole.
- Inspection Tee Typical:** A vertical access point for inspection.
- TEE OR ELBOW:** A connection point for additional piping.
- Outlet:** The exit point for wastewater from the manhole.
- Locking Frame & Cover:** Located at the top of the manhole, with a note: "AIR & GAS TIGHT 3 PLACES (2 PLACES ON 57'-0"A)".
- Dimensions:**
 - 1'-0"**: Vertical dimension from the top of the manhole to the inlet.
 - 6"**: Vertical dimension from the inlet to the bottom of the manhole.
 - 2"**: Vertical dimension from the inspection tee to the bottom of the manhole.
 - 2'-6"**: Vertical dimension from the tee or elbow to the bottom of the manhole.
 - 160"**: Horizontal dimension across the bottom of the manhole.
 - 3' LENGTH**: Horizontal dimension for the left side of the manhole.
 - 3' LENGTH**: Horizontal dimension for the right side of the manhole.
 - DIM "C"**: Vertical dimension from the top of the manhole to the bottom of the manhole.
 - DIM "D"**: Vertical dimension from the bottom of the manhole to the bottom of the manhole.
 - DIM "E" WATER DEPTH**: Vertical dimension from the bottom of the manhole to the water level.
- Grout All Around Both Sides:** Indicated by arrows pointing to the grout area around the manhole.
- SLOT:** A horizontal slot in the grout area.

1,000 GALLON GREASE TRAP

CITY OF WORCESTER
TYPICAL SEWER MAIN TRENCH

The diagram illustrates a trench cross-section with the following layers and dimensions:

- Dimensions:**
 - Top width: 1'-6" MIN.
 - Top layer width: 6"
 - Top layer height: 1'-6"
 - Gravel layer height: 1'-6"
 - Bottom layer height: 1'-6"
- Layers (from top to bottom):**
 - COMPACTED BACKFILL
 - SHEETING, IF USED
 - COMPACTED SELECTED BACKFILL
 - TOP OF GRAVEL STONE DRAVE
 - GRAVEL STONE
 - UNIT OF NORMAL EARTH EXCAVATION

CITY OF WORCESTER
TYPICAL DRAIN MAIN TRENCH

40 STEEL PIPE FILLED W/ CONC. PAINTED TRAFFIC YELLOW AND EMBEDDED IN CONC. BASE

BITUMINOUS JOINT AROUND PIPE

TOP OF SLAB OR ASPHALT

LEAVE SPACE FOR 2" SAND OR STYROFOAM LAYER BETWEEN TOP OF FOOTING & BOTTOM OF SLAB

3000 PSI CONCRETE

CONCRETE TO BE RAISED FOR PROPER WATER RUN OFF

NOTE

BOLLARDS REQ'D AT BLDG. CORNERS, FIRE HYDRANTS, WATER METER, GAS METER, SPRINKLER RISER, SHOW TRANSFORMER & ALL UTILITIES AT LOCATIONS SHOWN ON THESE DRAWINGS INTERIOR & EXTERIOR.

BOLLARD

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SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

REVISIONS

[illegible]

fast. It's free. It's the

PERMIT SET

PROJECT No.:	W211067
DRAWN BY:	NP
CHECKED BY:	RM
DATE:	08/20/2021
CAD I.D.:	W211067-CVL

**PROPOSED SITE
PLAN DOCUMENTS**

PROPOSED SITE PLAN DOCUMENTS

FOR

**TPG DEVELOPMENT
AND CONSTRUCTION**

**PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
5 QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS**

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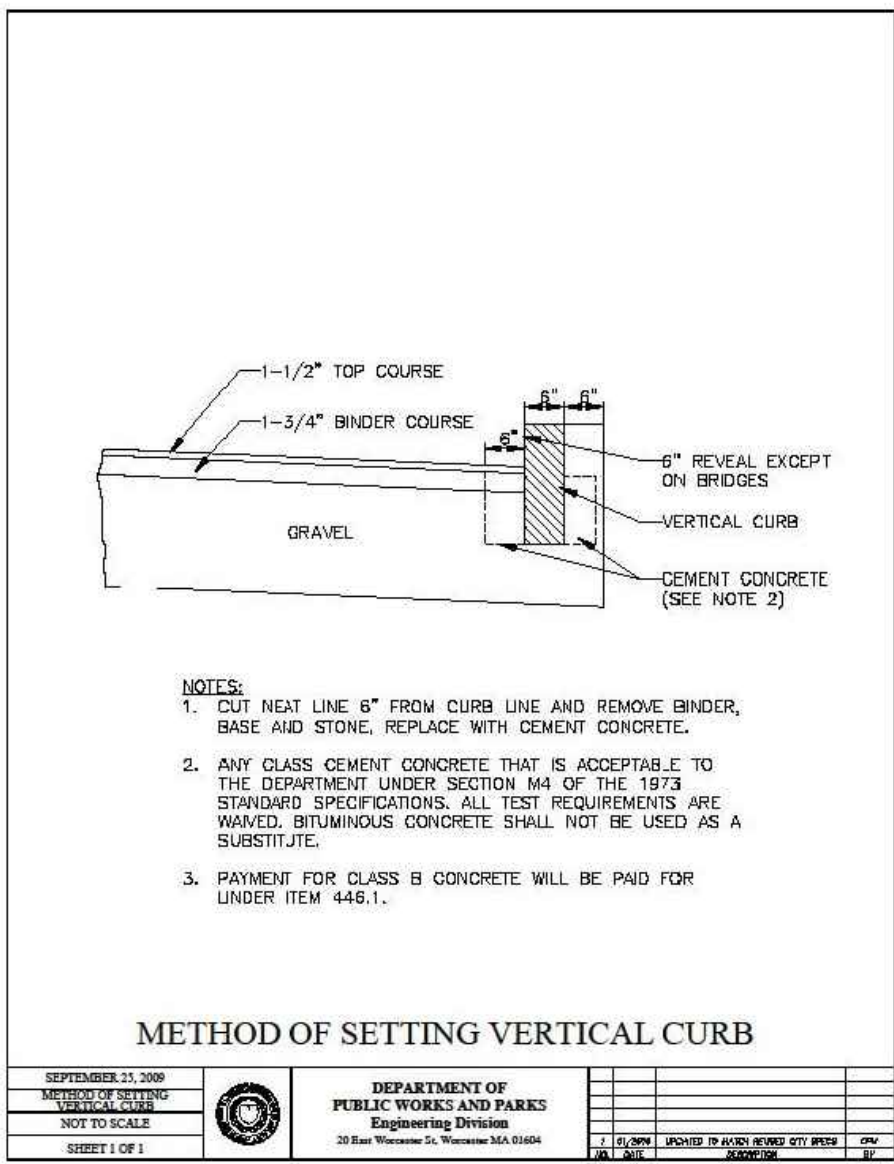
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DETAIL SHEET

SHEET NUMBER:

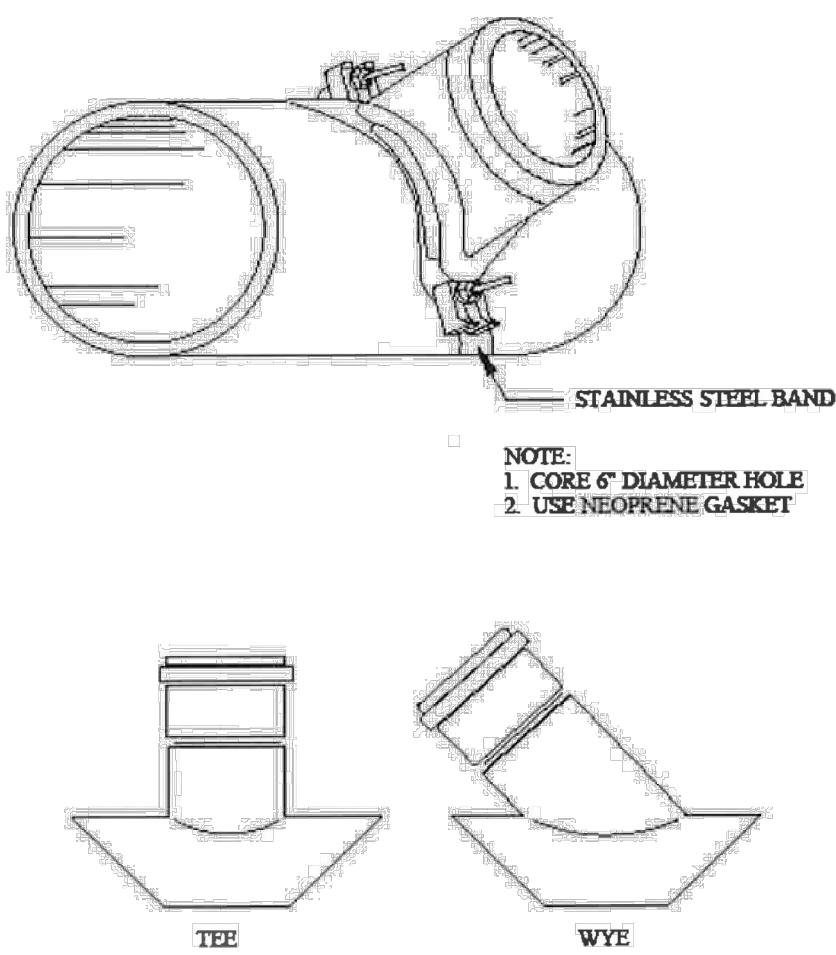
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REVISION 1 - 10/27/21



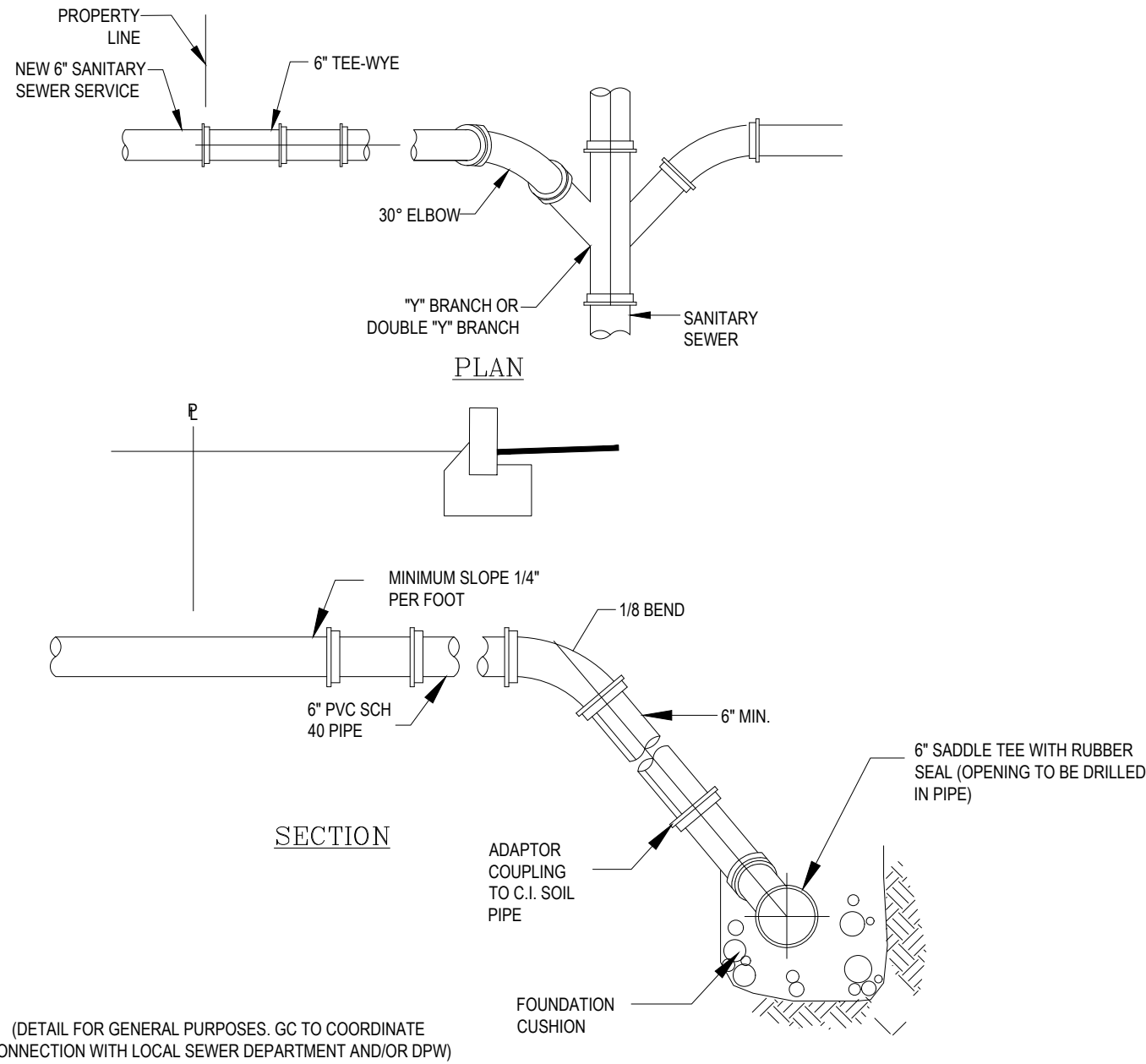
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METHOD OF SETTING VERTICAL CURB

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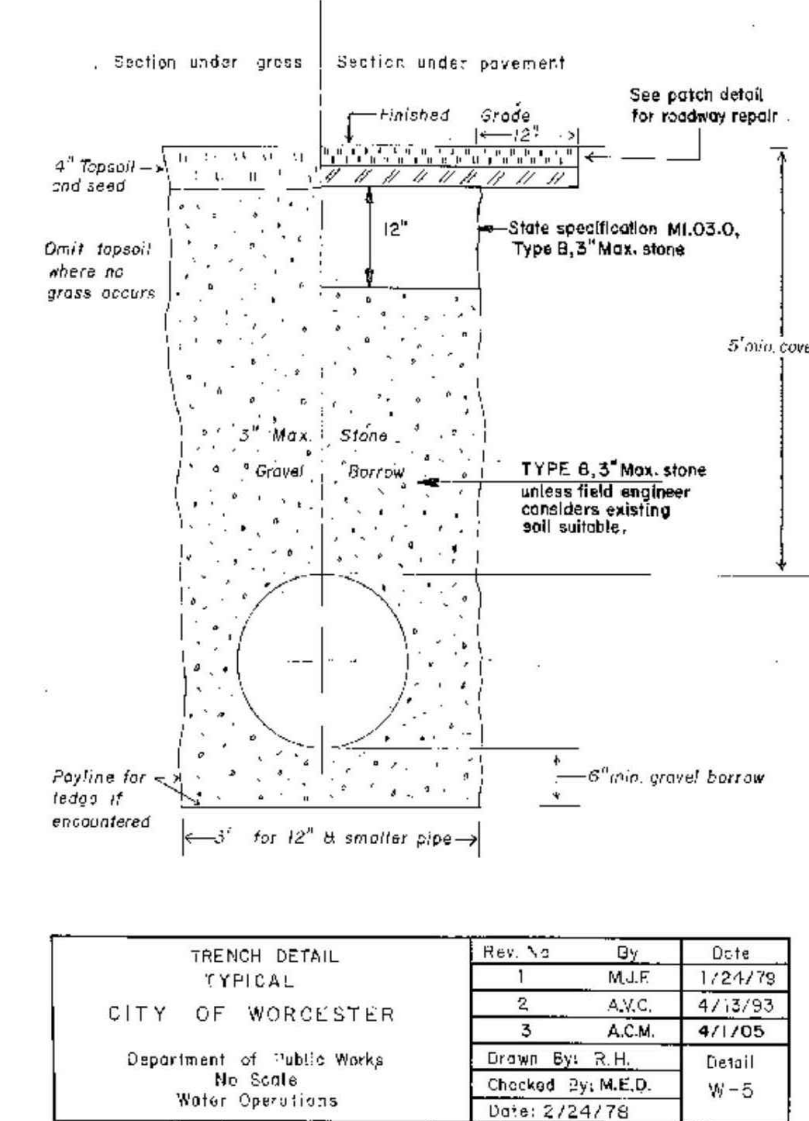
CITY OF WORCESTER WYE & TEE SADDLES
FOR 6\"/>

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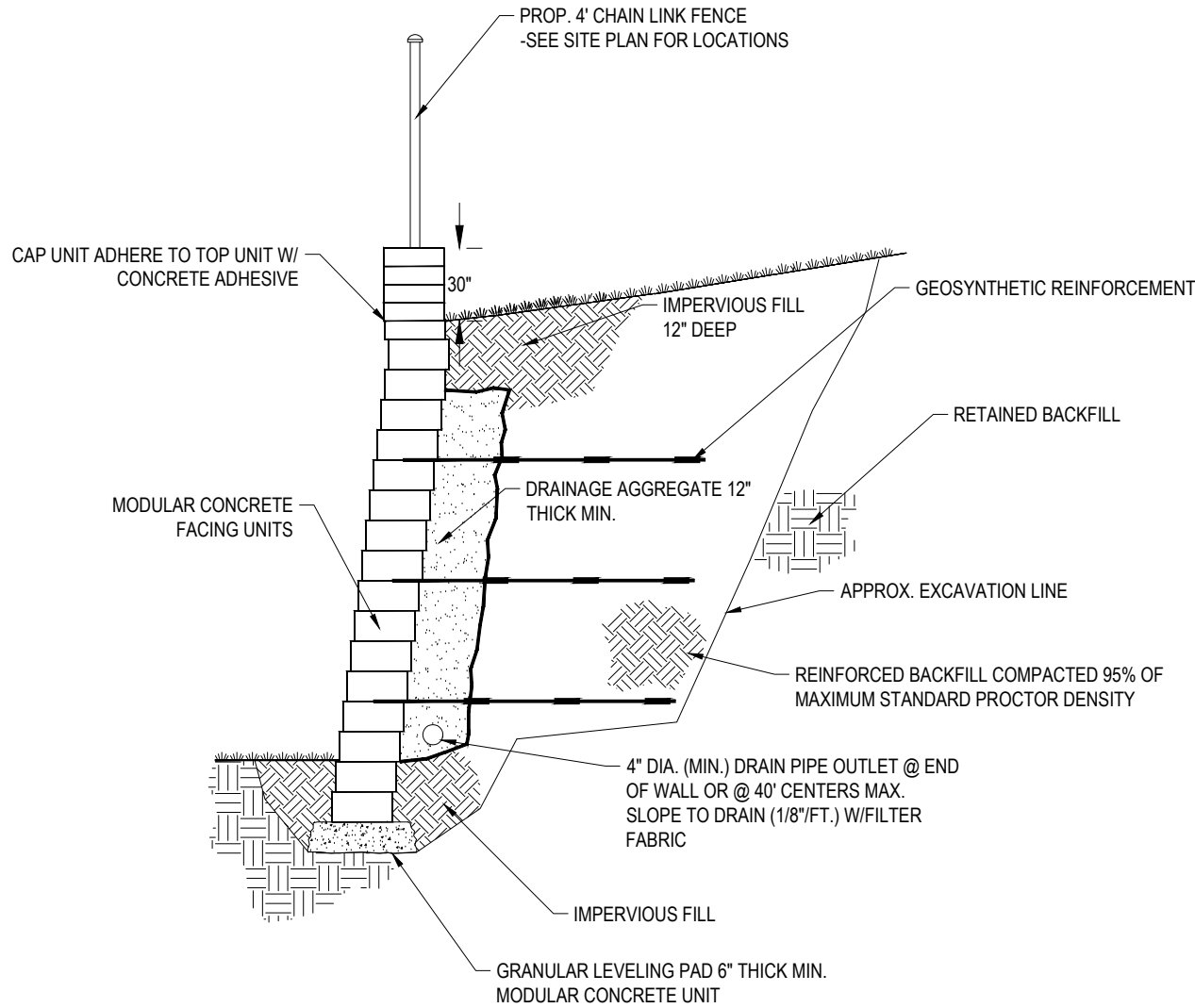
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SERVICE CONNECTION

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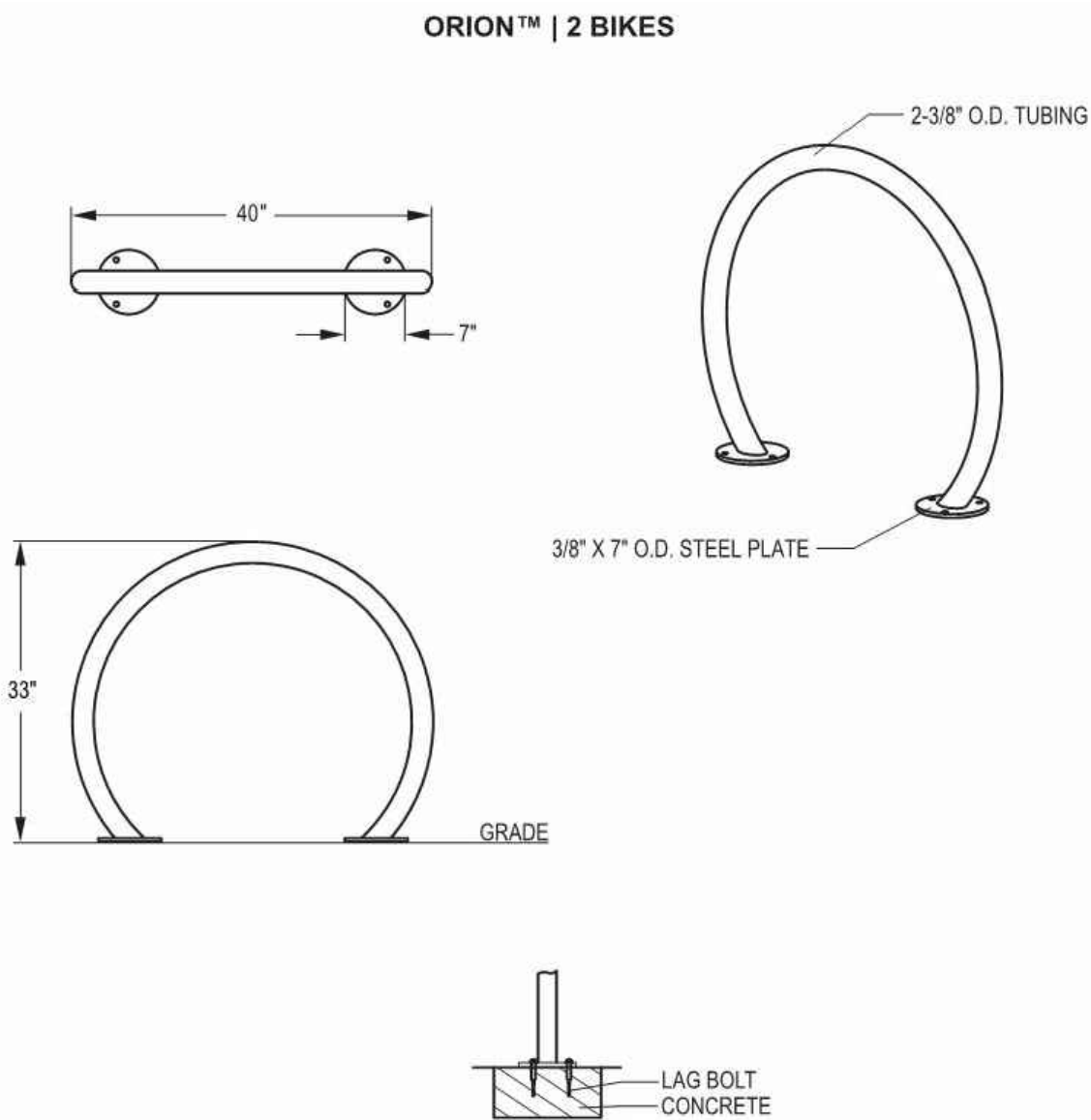
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TYPICAL TRENCH

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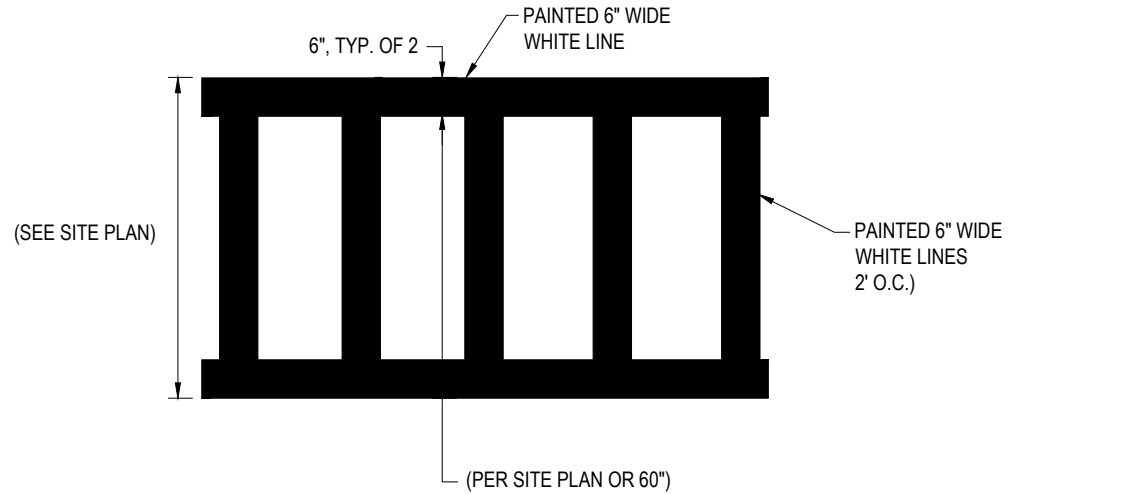
RETAINING WALL

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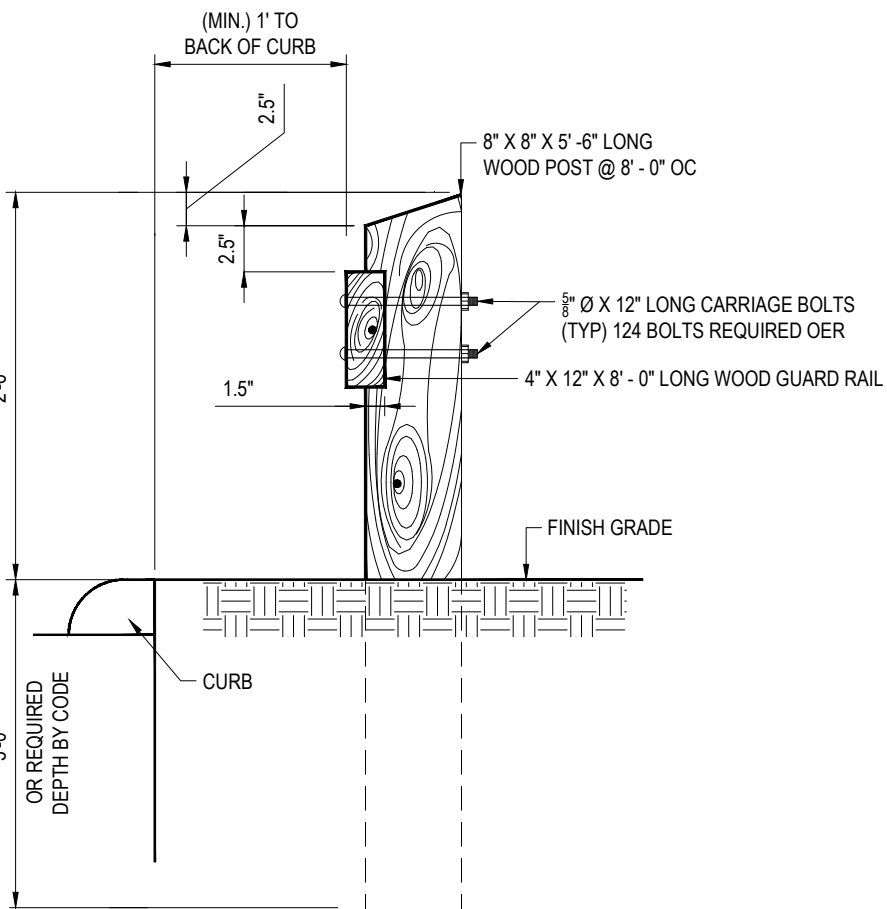
BIKE RACK

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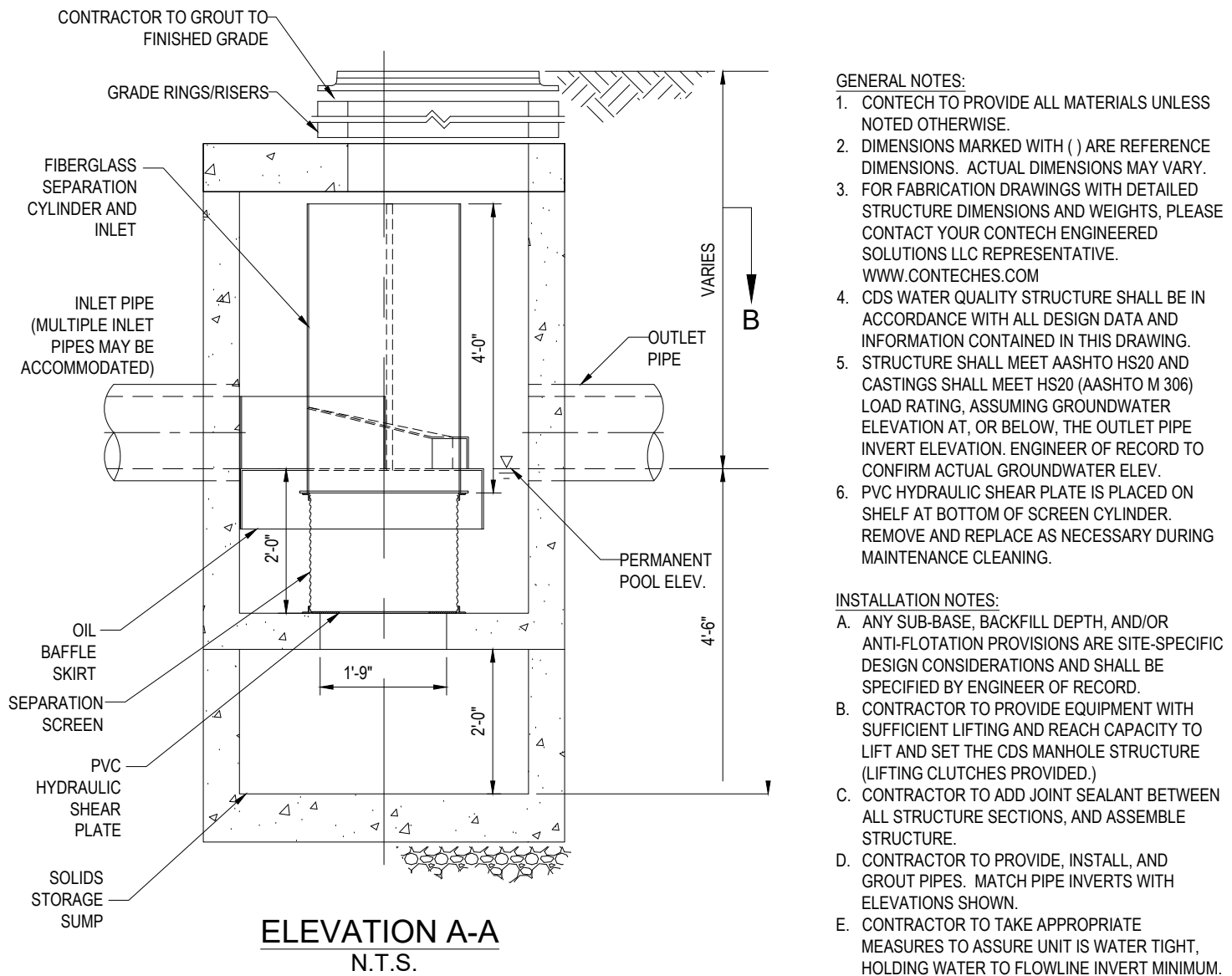
CROSSWALK

N.T.S.



WOOD GUIDERAIL

N.T.S.



CONTECH CDS2015-4-C
(WQU)

N.T.S.

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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	10/27/21	ZBA AND PLANNING BOARD SUBMISSION	NPD RMM



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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W211067
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 08/20/2021
CAD ID: W211067-CVL-0

PROJECT:

PROPOSED SITE
PLAN DOCUMENTS

FOR

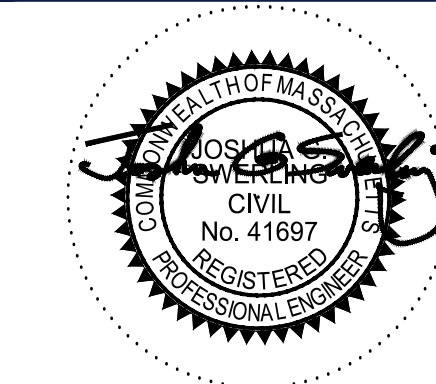
TPG DEVELOPMENT
AND CONSTRUCTION

PROPOSED
GAS STATION AND
CONVENIENCE STORE
MAP #5, BLOCK #23,
LOTS #68-70, 72, 76, 93
75 QUINSIGAMOND AVENUE
CITY OF WORCESTER
WORCESTER COUNTY,
MASSACHUSETTS

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DETAIL
SHEET

SHEET NUMBER:

C-903

REVISION 1 - 10/27/21

LANDSCAPE PLANS

NEON MARKETPLACE

LOCATED AT:

75 Quinsigamond Avenue
Map 5, Block 23, Lots 68-70, 72, 76, 93
Worcester, Massachusetts

PREPARED FOR THE:

TPG Development & Construction
1140 Reservoir Avenue
Cranston, Rhode Island 02920

SHEET INDEX

NUMBER	TITLE	ISSUED FOR PERMITTING	REVISIONS	
	COVER SHEET			
1	PLANTING PLAN	08-19-2021	10-28-2021	
2	PLANTING NOTES & DETAILS	08-19-2021	10-28-2021	

PREPARED BY:

JOHN C. CARTER & CO., INC.

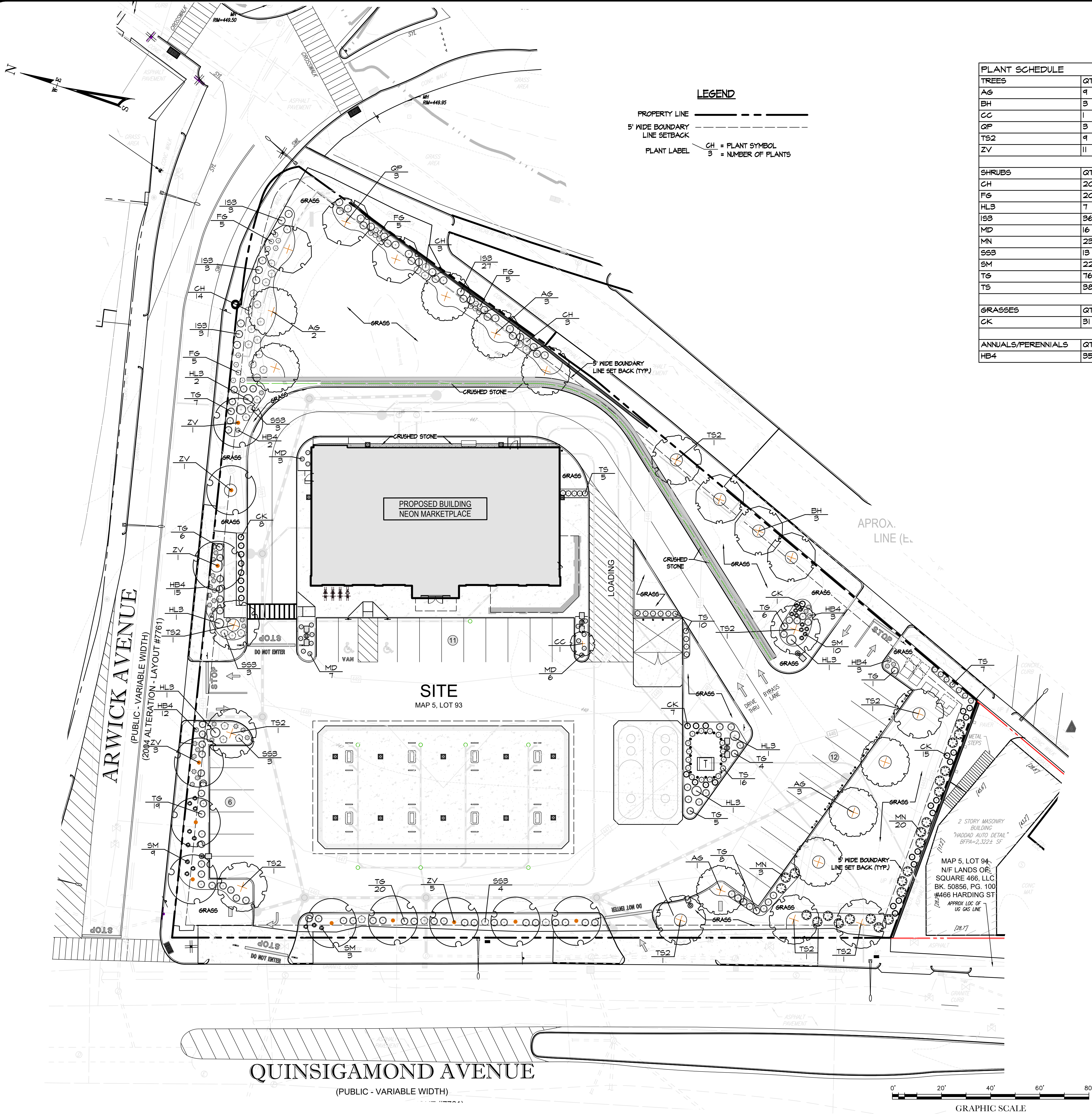
960 BOSTON NECK RD., NARRAGANSETT, RI
(401) 783 - 3500

LANDSCAPE ARCHITECTURE
DESIGN & BUILD

ENGINEER

Bohler

Site & Consultant Engineering
352 Turnpike Road
Southborough, MA 01772



LEGEND

PROPERTY LINE
5' WIDE BOUNDARY LINE SETBACK
PLANT LABEL CH = PLANT SYMBOL
3 = NUMBER OF PLANTS

PLANT SCHEDULE				
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AG	1	ACER RUBRUM 'OCTOBER GLORY' TM	OCTOBER GLORY MAPLE	3-3 1/2" CAL.
BH	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	3-3 1/2" CAL.
CC	1	CARPINUS BETULUS 'COLUMNARIS'	COLUMNAR EUROPEAN HORNBEEAM	3-3 1/2" CAL.
GP	3	QUERCUS PALUSTRIS	PIN OAK	3-3 1/2" CAL.
TS2	1	TILIA TOMENTOSA	SILVER LINDEN	3-3 1/2" CAL.
ZV	11	ZELKOYA SERRATA 'VILLAGE GREEN'	SAWLEAF ZELKOYA	3-3 1/2" CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CH	20	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	18-24" HT.
FG	20	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	15-18" HT
HL3	7	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	15-18" HT
IS3	36	ILEX GLABRA 'SHAMROCK'	INKBERRY	18-24" HT
MD	16	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	2 GAL
MN	23	MORELLA PENSYLVANICA	NORTHERN BAYBERRY	18-24" HT.
SS3	13	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	15-18" HT
SM	22	SPIRAEA JAPONICA 'WALBURA'	MAGIC CARPET JAPANESE SPIREA	15-18" HT
TG	16	TAXUS X MEDIA 'GREENWAVE'	GREENWAVE ANGLO-JAPANESE YEW	15-18" HT
TS	38	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' HT
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CK	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HB4	35	HEMEROCALLIS X 'BIG TIME HAPPY'	DAYLILY	2 GAL

ARWICK AVENUE
(PUBLIC - VARIABLE WIDTH)
(2004 ALTERATION - LAYOUT #7761)

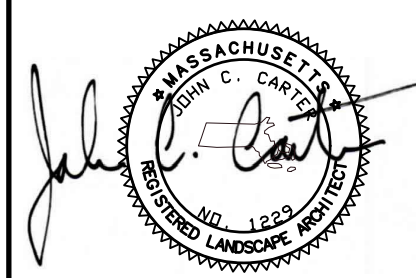
SITE
MAP 5, LOT 93

QUINSIGAMOND AVENUE
(PUBLIC - VARIABLE WIDTH)

APROX.
LINE (E.)

MAP 5, LOT 94
N/F LANDS OF
SQUARE 466, LLC
BK. 50856, PG. 100
#466 HARDING ST
APPROX LOC OF
UG GAS LINE

GRAPHIC SCALE



LANDSCAPE PLAN
NEON MARKETPLACE
75 QUINSIGAMOND AVENUE
MAP 5, BLOCK 23, LOTS 68-70, 72, 76, 93
WORCESTER, MASSACHUSETTS
PREPARED BY
JOHN C. CARTER & COMPANY, INC.
LANDSCAPE ARCHITECTURE
960 Boston Neck Road
Narragansett, RI 02882
(401) 783-3500 Fax: (401) 792-1327

PREPARED FOR
TPG DEVELOPMENT & CONSTRUCTION
1140 Reservoir Avenue
Cranston, RI 02920
AUGUST 19, 2021
DWN. BY: L.M.W.

SHEET 1 OF 2

GENERAL:

1. THE EXISTING SITE INFORMATION HAS TAKEN FROM A PLAN PREPARED BY BOHLER, TITLED 'Y2101067-CVL-0 2021-09-03', DATED AUGUST 3, 2021 ..
2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE LOCATION AND NOTIFICATION OF LANDSCAPE MATERIALS ONLY AND NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-7233.

ALL PLANTING BEDS ARE TO BE TREATED AS FOLLOWS:

1. ALL PLANTING BEDS ARE TO BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.
2. THE BOTTOM OF THE PLANTING BEDS ARE TO BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
3. ALL PLANTING BEDS ARE TO BE BACKFILLED WITH 8" OF LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

3. PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF "ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK."
4. PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.
5. DELIVER FRESH DUG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
6. PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
7. ALL PLANTING BEDS ARE TO BE COVERED WITH 2" SHREDDED PINE BARK MULCH.
8. AFTER THE TREES AND SHRUBS ARE PLANTED, THE DISTURBED AREAS BETWEEN THE PLANTING BEDS SHALL BE LOAMED AND SEEDED WITH A SEED MIX AS SPECIFIED IN THE LOAMING AND SEEDING NOTES.
9. ALL DECIDUOUS AND EVERGREEN TREES OVER 5' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN PLUMBED AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND ANCHOR TIES ARE TO BE MAINTAINED AND ADJUSTED TO PREVENT GIRDLING OF THE TRUNK AND REMOVED WHEN NO LONGER NEEDED.
10. PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY AND SITE CONDITIONS. SUBSTITUTIONS MAY BE MADE ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

1. AFTER THE PLANTING BEDS ARE PREPARED, THE PLANTS SHALL BE PLACED ON THE GROUND WHERE SHOWN ON THE PLAN.
2. THE PLANTS SHALL BE ORIENTED IN SUCH A MANNER TO RESULT IN THE MOST UNIFORM AND VIGOROUS SIDE OF THE PLANT FACING THE FRONT.
3. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND SHALL INSPECT AND APPROVE THE LOCATIONS BEFORE THEY ARE PLANTED.

1. REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, FREE OF REFUSE AND DEBRIS, AND ANY PLANTINGS THAT DO NOT SURVIVE SHALL BE REPLACED IN KIND BY THE APPLICANT OR PROPERTY OWNER WITHIN A REASONABLE PERIOD OF TIME.
2. THE CONTRACTOR SHALL WARRANTY ALL PLANTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
3. AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
4. ANY PLANT WHICH IS NOT HEALTHY AND GROWING VIGOROUSLY AFTER ONE YEAR SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
5. IF NECESSARY, THE CONTRACTOR SHALL OVERSEED OR SOD ANY AREAS WHICH ARE NOT SUBSTANTIALLY COVERED BY ADEQUATE GRASS GROWTH FOR ONE YEAR AFTER THE INITIAL SEED APPLICATION.

1. AREAS LABELED AS 'GRASS' ARE TO BE SEEDED OR SODDED AS DIRECTED BY THE OWNER.
2. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS "GRASS", ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. IF CONCURRED, THE SOIL IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEST OF A BACKHOE TO RESULT IN AN UNCOMPACTED SUBSOIL. THEN 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
3. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M16.01 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.
5. AFTER THE SEED BED IS PREPARED, THE AREA IS TO BE HYDRO-SEEDDED. THE HYDRO-SEED SHALL BE APPLIED EVENLY OVER THE SURFACE WITH A BONDED 100% MOOD FIBER MATRIX USING ACCEPTED HORTICULTURAL PRACTICES. THE SLURRY SHALL INCLUDE WATER, SEED, MOOD FIBER AND A HIGH PHOSPHORUS STARTER FERTILIZER.
6. RATHER THAN HYDRO-SEEDING AS DESCRIBED ABOVE, WITH PERMISSION FROM THE OWNER, THE CONTRACTOR MAY BROADCAST SEED, PRIOR TO SEEDING, FERTILIZE WITH A HIGH PHOSPHORUS STARTER FERTILIZER APPLIED AT THE MANUFACTURER'S RECOMMENDED RATES. SEED SHALL BE BROADCAST EVENLY OVER THE PREPARED SURFACE AND WORKED INTO THE TOP 1" OF SOIL.

- PROVIDE QUALITY SEED DERIVED FROM THE VARIETY INDICATED UNDER 'SEEDING'.
- ALL SEED IS TO BE VIABLE, HEALTHY AND FREE OF INSECTS AND DISEASE.
- SEED IS TO BE INSTALLED AS SPECIFIED IN THE SEEDING NOTES WITH ADEQUATE WATER PROVIDED TO ESTABLISH A HEALTHY GRASS CATCH.
- RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE.
- SEED SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

50% TRI-PLEX
PERENNIAL RYEGRASS BLEND CONSISTING OF APPLAUD II,
SOPRANO & 16 SQUARED

50% DARK & DURABLE
21% FURY TALL FESCUE
21% CORONADO TALL FESCUE
26% ENDEAVOR TALL FESCUE
10% IQ PERENNIAL RYEGRASS
10% BROOKLAWN KENTUCKY BLUEGRASS

IF THE AREAS THAT ARE LABELED 'GRASS' ARE TO BE SODDED:

1. SOD SHALL BE LIV FRESH, AND OF SUITABLE CHARACTER FOR THE PURPOSES INTENDED AND FOR THE SOIL ON WHICH IT WILL BE PLACED. SODS SHALL BE AT LEAST 2-SQUARE FEET IN AREA AND SHALL BE THICK ENOUGH TO CONTAIN ALL NATURAL ROOTS WITHOUT MUTILATION. IN NO CASE WILL SODS BE PERMITTED TO BE UNDER $\frac{3}{4}$ " THICK OR OVER 1" THICK, UNLESS EXPRESS WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT IS PROCURED. SOD STORED LONGER THAN 36 HOURS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
2. RECOMMENDED SODDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15.
3. SOD INSTALLATION: THE SOD BED SHALL BE MOIST AND BE WATERED CONTINUOUSLY DURING THE SODDING OPERATION. SOD SHALL BE LAID IN THE LONGEST DIRECTION PARALLEL TO THE CONTOURS. THE FIRST ROW OF SOD SHALL BE LAID A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL/VERTICAL JOINTS SHALL BE STAGGERED BY A MINIMUM OF 12" TO PROMOTE UNIFORM GROWTH AND STRENGTH. SOD SHALL NOT BE STRETCHED OR OVERLAPPED AND ALL JOINTS SHALL BE BUTTED TIGHT.
4. AFTER THE SOD IS PLACED, IT SHALL BE PRESSED FIRMLY INTO CONTACT WITH THE SOD BED BY TAMPING OR HAND ROLLING. THIS PROCEDURE SHALL NOT DEFORM THE SOD. THE CONTRACTOR SHALL CUT THE SOD TO LINE AS INDICATED ON THE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

ZONING ORDINANCE - AS AMENDED THROUGH APRIL 27, 2021

SECTION 7 - OFF STREET PARKING & LOADING
TABLE 4.4 OFF STREET ACCESSORY PARKING REQUIREMENTS

II. WITH THE EXCEPTION OF RESIDENTIAL DRIVEWAYS AND COMMON DRIVEWAYS, PARKING FACILITIES SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL BOUNDARY LINES TO PROVIDE A BUFFER AREA FROM ABUTTING LOTS AND SHALL ALSO COMPLY WITH THE LOCATION REQUIREMENTS SET FORTH BELOW IN NOTES 5(b)(i) AND 5(c)(i). THE BUFFER AREAS SHALL CONSIST OF PERMEABLE SURFACES AND SHALL BE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION 5(C).

A BUFFER AREA A MINIMUM OF FIVE (5) FEET IS PROVIDED FROM ALL BOUNDARY LINES AND IS PROPOSED TO CONSIST OF PERMEABLE SURFACES THAT ARE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION-5(C).

PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL HAVE LANDSCAPING IN THE INTERIOR OF THE PARKING LOT IN ADDITION TO LANDSCAPING ALONG THE EDGES OF THE LOT. NO INTERIOR LANDSCAPING IS REQUIRED, HOWEVER, FOR PARKING LOTS WHERE ALL SPACES ABOUT A LANDSCAPED SETBACK AREA AS DESCRIBED IN NOTE 5, ABOVE, AND THE PARKING LOT IS IN COMPLIANCE WITH ARTICLE V, SECTION 5(C) OF THIS ORDINANCE.

THERE ARE A TOTAL OF THIRTY (30) SPACES PROPOSED, NINETEEN (19) OF WHICH ARE A LANDSCAPED SETBACK AREA AS DESCRIBED IN NOTE 5 AND PROPOSED LANDSCAPING IS IN COMPLIANCE WITH ARTICLE V, SECTION 5-(C) OF THIS ORDINANCE. THE ELEVEN (11) REMAINING SPACES HAVE LANDSCAPING ISLANDS PROPOSED LOCATED AT EACH END OF THE PARKING.

AT LEAST ONE (1) TREE SHALL BE PLANTED WITHIN THE PARKING LOT INTERIOR FOR EVERY TEN (10) PROPOSED AND EXISTING SPACES. SUCH INTERIOR TREES SHALL BE IN ADDITION TO TREES REQUIRED ALONG THE EDGES OF THE LOT. INTERIOR TREES SHALL BE PLANTED IN PLANTING BEDS NO SMALLER THAN FIVE FEET BY FIVE FEET (5'X5').

ELEVEN INTERIOR PARKING SPACES EXIST. $11 / 10 = 1.1$ INTERIOR TREE IS REQUIRED

TREES REQUIRED =
TREES PROVIDED = 1

THE DIMENSIONS OF THE PLANTING ISLAND IN WHICH THE TREE IS TO BE PLANTED WILL BE NO SMALLER THAN FIVE FEET BY FIVE FEET (5' X 5').

THE TREE HAS BEEN LOCATED IN SUCH A MANNER AS TO PROVIDE SHADE OVER THE GREATEST NUMBER OF PARKING SPACES PRACTICABLE.

SECTION 5 - APPLICATION APPROVAL PROCESS

I. LANDSCAPE SCREENING

- a. LANDSCAPE SCREENING SHALL BE REQUIRED ALONG THE SIDEWALK EDGE AND SIDE LOT LINES WHERE THE PARKING, WORK OR SERVICE AREA OF A PROPOSED PROJECT ABUTS A STREET, PUBLIC PARK OR RESIDENTIAL PROPERTY.

LANDSCAPE SCREENING IS PROVIDED ALONG THE SIDEWALK EDGE AND SIDE LOT LINE.

- b. LANDSCAPE SCREENING SHALL CONSIST OF PLANTING AREA AT LEAST FIVE (5) FEET WIDE LOCATED ALONG THE SIDEWALK EDGE AND/OR SIDE LOT LINES OF A PROPOSED USE. LANDSCAPE SCREENING AREAS SHALL BE SEPARATED FROM PARKING AREA BY A SIX-INCH HIGH CURB. TREES SHALL BE THE MAJOR ELEMENTS OF LANDSCAPE SCREENING. A COMBINATION OF PLANT MATERIALS, TREES AND SHRUBS SHALL BE INCLUDED IN LANDSCAPE SCREENING AREAS. FENCING SHALL BE USED, IN COMBINATION WITH TREES AND SHRUBS WHEN APPROPRIATE.

A LANDSCAPE SCREEN CONSISTING OF PLANTING AREAS IN EXCESS OF FIVE (5) FEET WIDE IS PROPOSED ALONG THE SIDEWALK EDGE AND SIDE LOT LINE. THE LANDSCAPE SCREENING IS SEPARATED FROM THE PARKING AREA BY A SIX-INCH HIGH CURB. A COMBINATION OF PLANT MATERIALS, TREES, SHRUBS AND PERENNIALS ARE PROPOSED WITHIN THE LANDSCAPE SCREEN, WITH TREES AS A MAJOR ELEMENT.

1) TREES

TREES SHALL BE PLANTED EVERY TWENTY (20) TO TWENTY-FIVE (25) FEET ON CENTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST THREE (3) TO THREE AND ONE-HALF (3-1/2) INCHES IN DIAMETER WHEN MEASURED SIX (6) INCHES ABOVE THE GROUND.

TREES HAVE BEEN PROPOSED TO BE PLACED APPROXIMATELY 25' ON CENTER AND, WHEN PLANTED ARE TO BE AT LEAST THREE AND ONE HALF (3-3.5) INCHES IN DIAMETER WHEN MEASURED SIX INCHES ABOVE THE GROUND.

ii) SHRUBS

SHRUBS SHALL BE PLANTED ALONG WITH TREES IN A LANDSCAPE SCREENING AREA. SHRUBS MAY BE DECIDUOUS OR EVERGREEN, OR A MIXTURE OF BOTH TYPES, AND SHALL BE DENSELY PLANTED TO PROVIDE A MATURE APPEARANCE WITHIN THREE (3) YEARS. FOR LANDSCAPE SCREENING AREAS ALONG A SIDEWALK EDGE SHRUBS SHALL BE NO TALLER THAN FOUR (4) FEET HIGH.

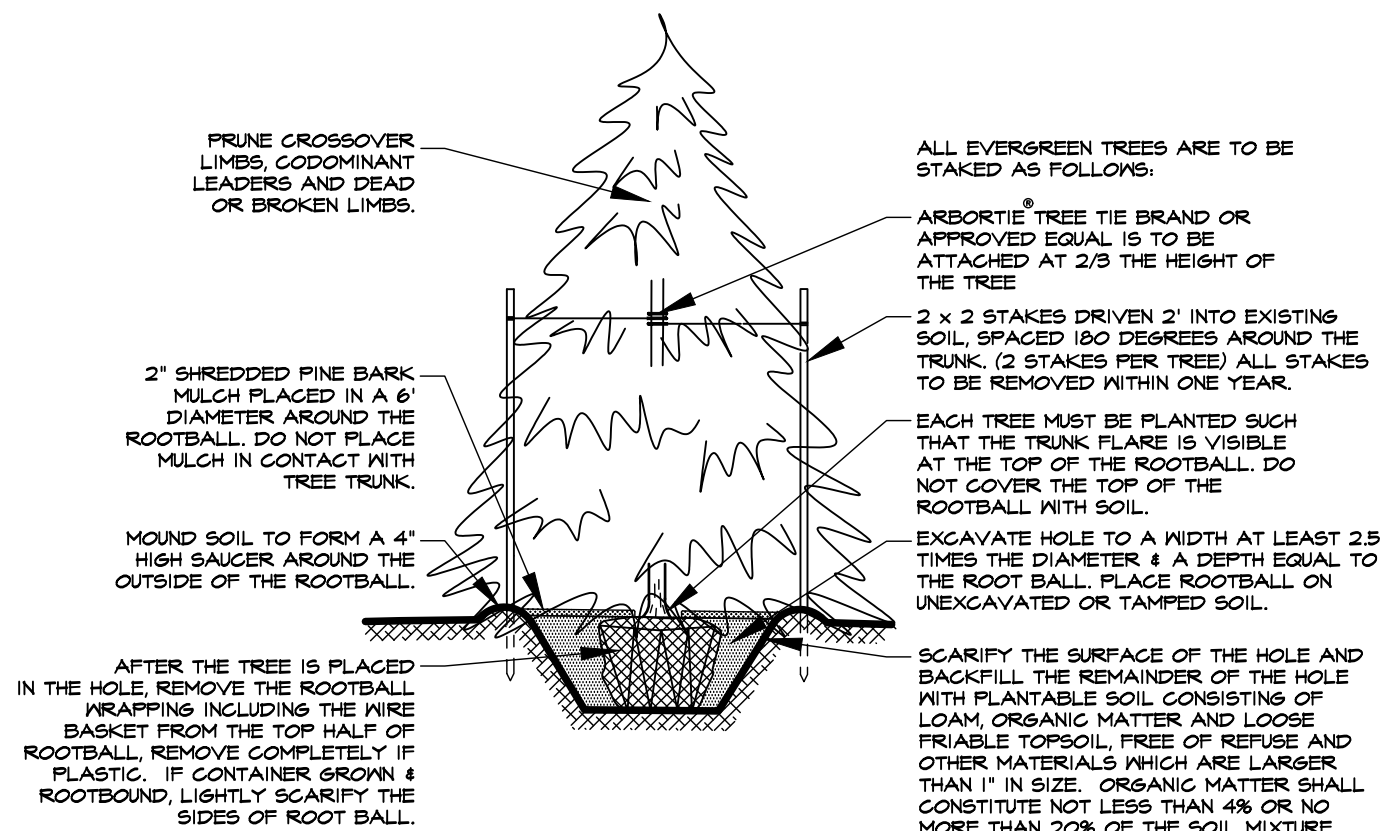
A MIXTURE OF DECIDUOUS AND EVERGREEN SHRUBS HAVE BEEN PROPOSED SO THAT THEY WILL PROVIDE A DENSE LANDSCAPE SCREEN WITH A MATURE APPEARANCE WITHIN THREE (3) YEARS. SHRUBS ALONG THE SIDEWALK EDGE SHALL BE MAINTAINED NO TALLER THAN FOUR (4) FEET HIGH.

FOR LANDSCAPE SCREENING AREAS WHICH ABUT ADJACENT RESIDENTIAL USES, SHRUBS MAY BE UP TO SEVEN (7) FEET IN HEIGHT TO PROVIDE A MORE EFFECTIVE BUFFER BETWEEN LAND USES.

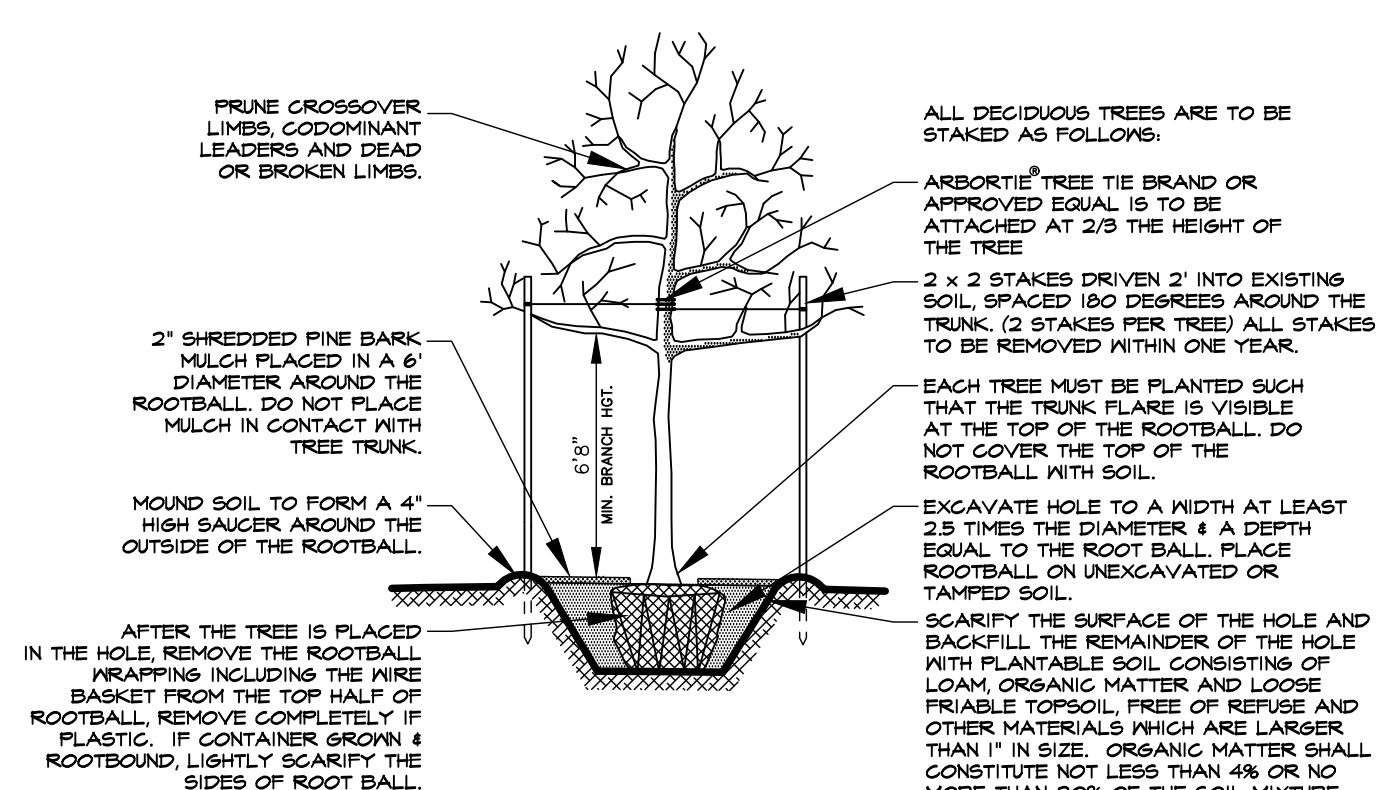
THERE ARE NO RESIDENTIAL USES THAT ABUT THIS PROPERTY.

IV) MAINTENANCE OF LANDSCAPED AREAS

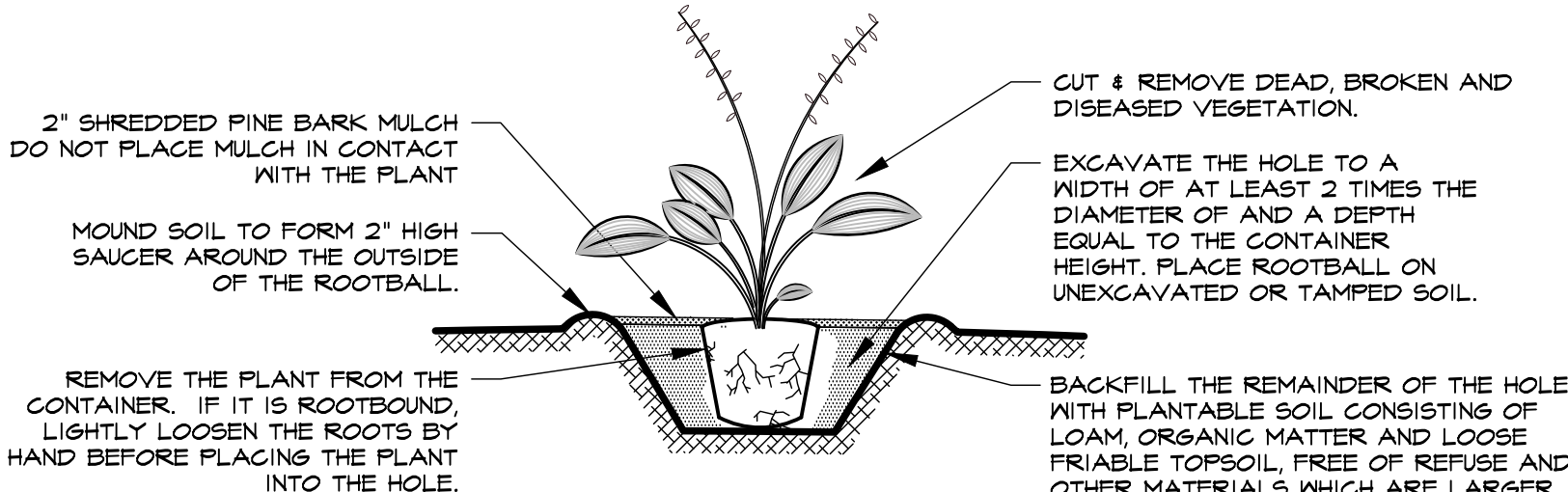
SEE MAINTENANCE AND WARRANTY NOTES THIS SHEET.



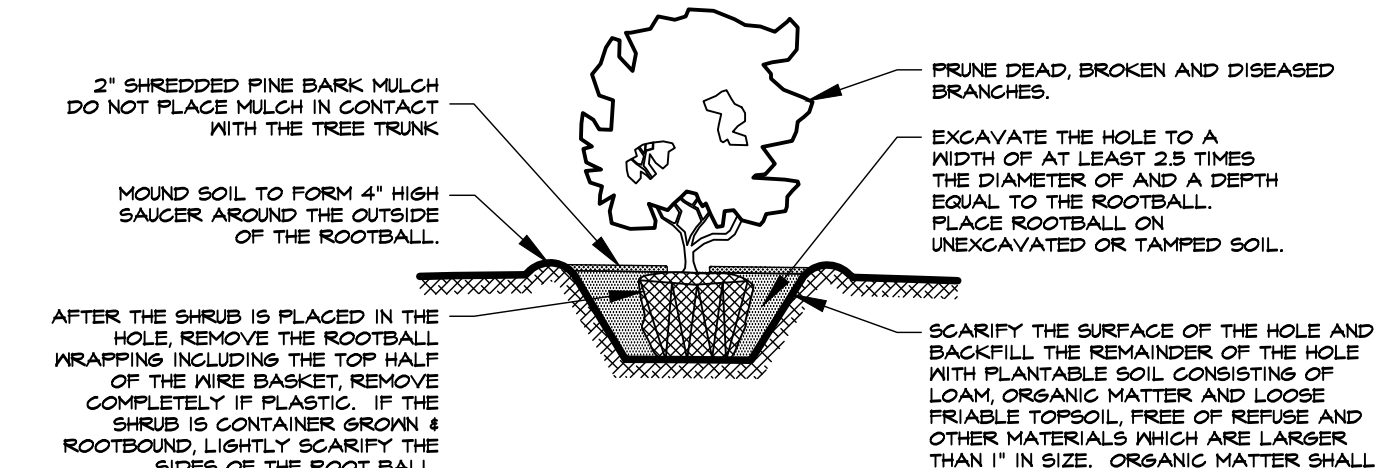
EVERGREEN TREE PLANTING DETAIL



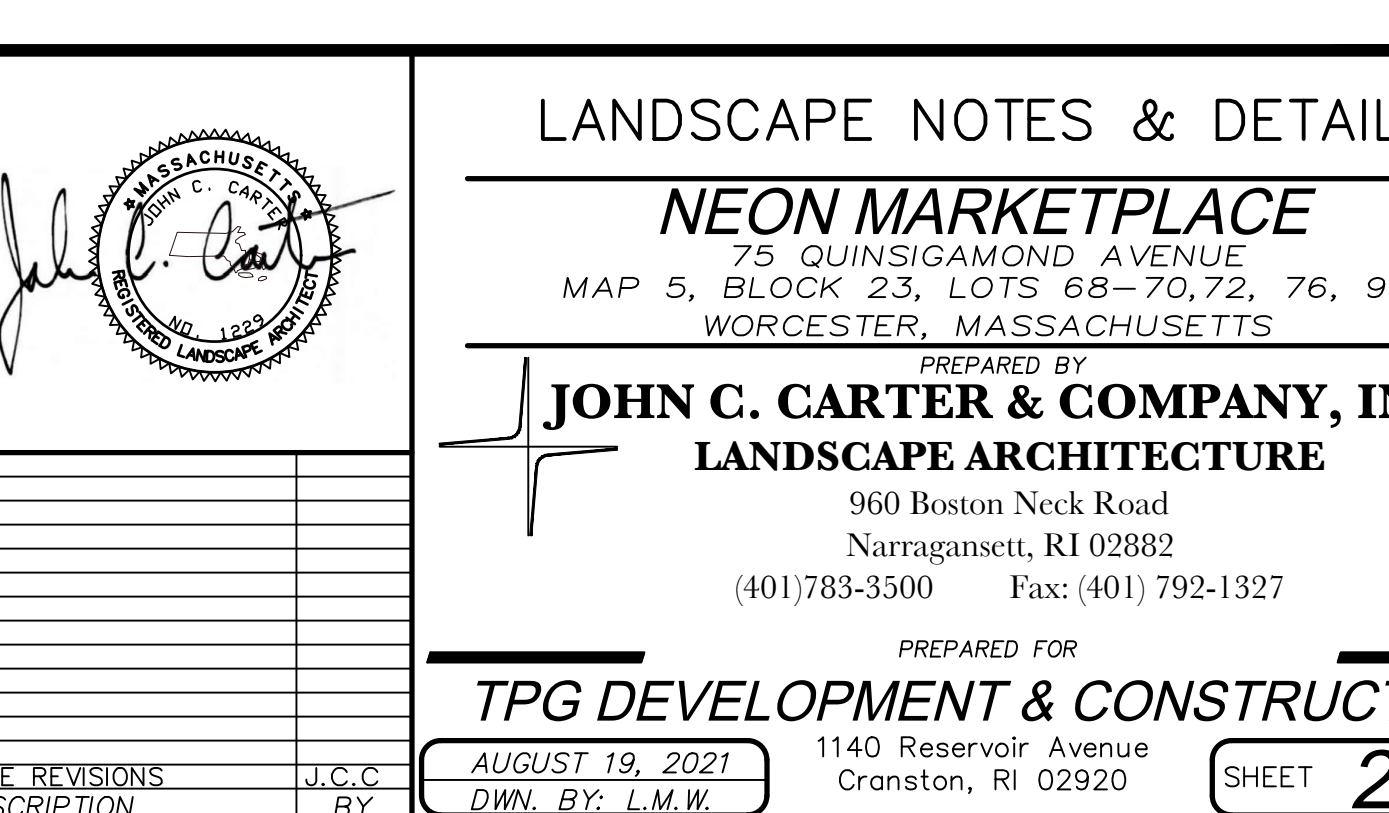
TREE PLANTING DETAIL



PERENNIAL PLANTING DETAIL



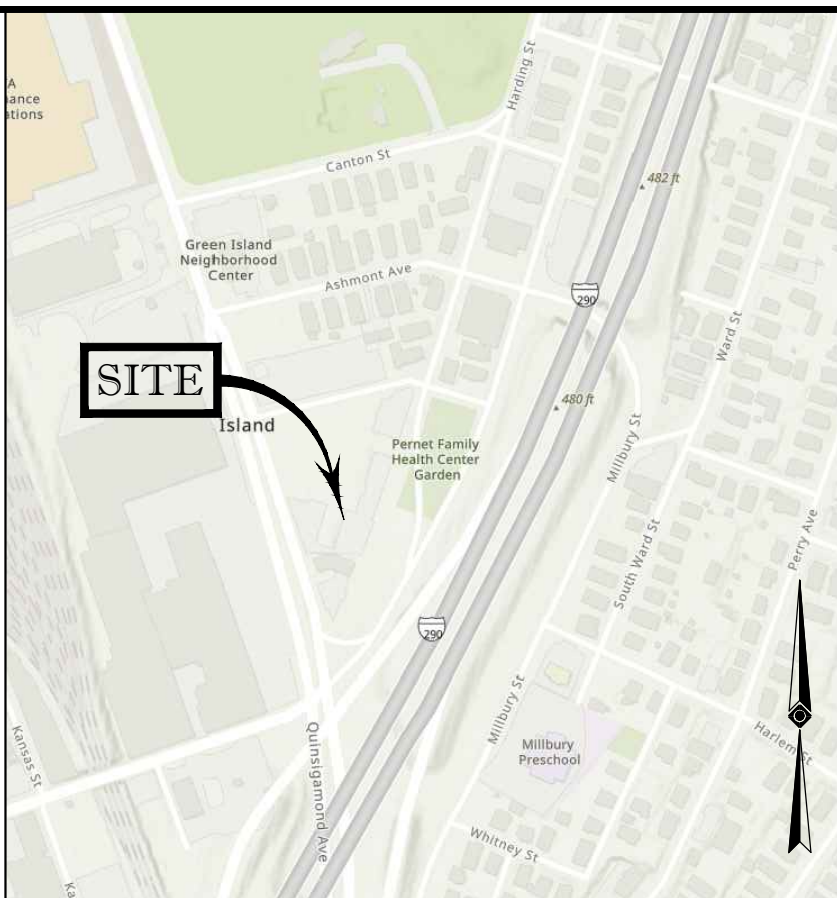
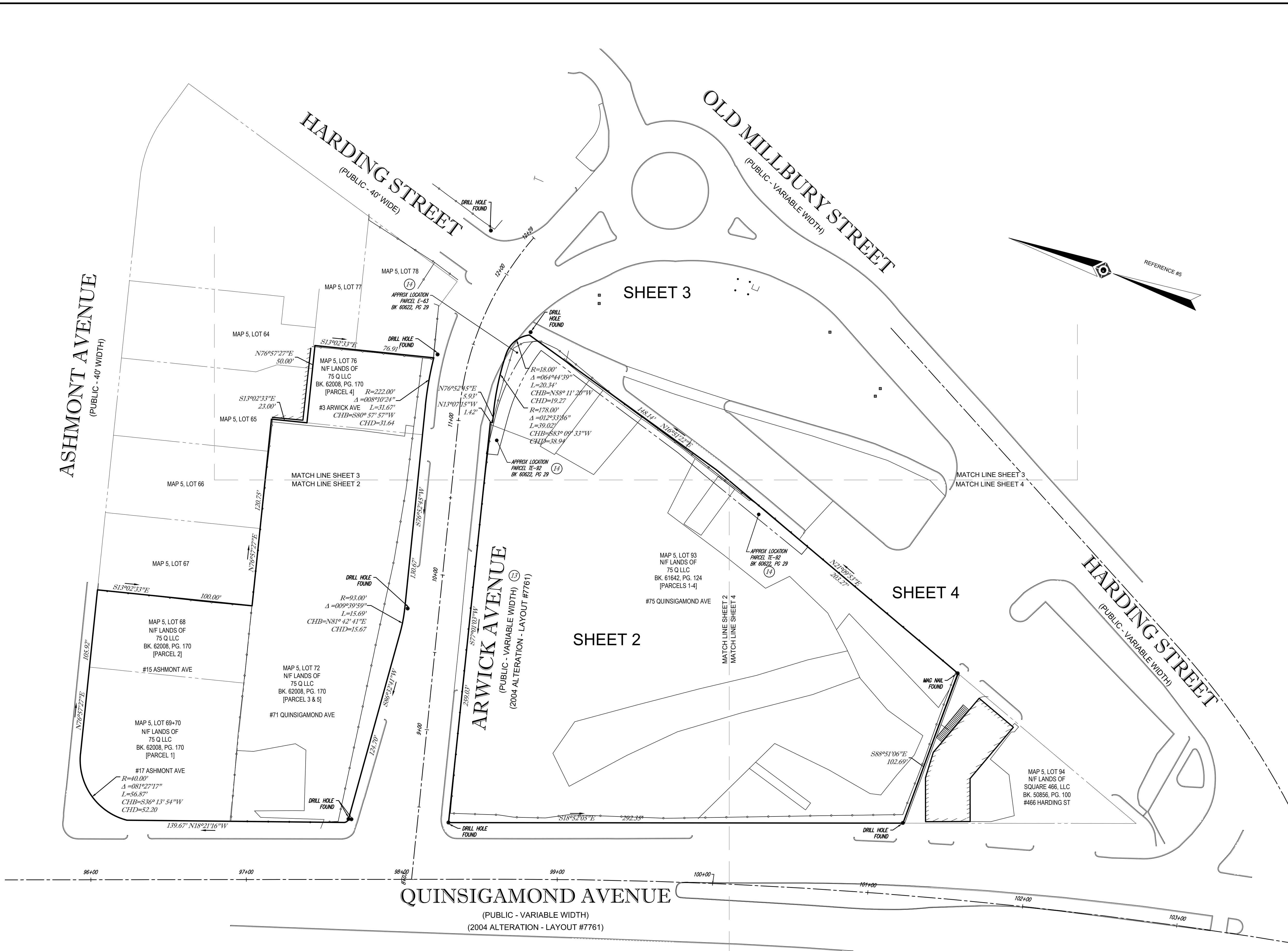
SHRUB PLANTING DETAIL



CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED.
THIS SURVEY IS CERTIFIED TO THE COMMONWEALTH OF MASSACHUSETTS REQUIREMENTS FOR PROFESSIONAL LAND SURVEYING. NO PORTION OF THIS SURVEY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCUS MAP
2013 ESRI WORLD STREET MAPS
NOT TO SCALE

NOTES:

- PROPERTIES KNOWN AS LOTS 68, 69+70, 72, 76, 93, BLOCK 23, AS SHOWN ON THE CITY OF WORCESTER, WORCESTER COUNTY, COMMONWEALTH OF MASSACHUSETTS TAX MAP #5.
- AREA = 109,016 S.F. OR 2.502 ACRES TOTAL.
LOT 68 = 5,000 S.F. OR 0.115 AC
LOTS 69+70 = 9,818 S.F. OR 0.225 ACRES
LOT 72 = 23,530 S.F. OR 0.540 ACRES
LOT 76 = 3,758 S.F. OR 0.086 ACRES
LOT 93 = 66,910 S.F. OR 1.536 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- WITH REGARD TO LOTS 68, 69+70, 72 & 76 SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
WITH REGARD TO LOT 93 THIS SURVEY WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. 21-2010, WITH AN EFFECTIVE DATE OF JULY 15, 2021, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II:
GENERAL EXCEPTIONS 1 THRU 10 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

- SUBJECT TO AND WITH THE BENEFIT OF A GRANT OF EASEMENTS GRANTED TO JOHN J. NISSEN BAKING CO., INC., RECORDED ON 04/23/1981 IN BOOK 7213, PAGE 811, SHOWN ON PLAN RECORDED IN PLAN BOOK 465, PLAN 112, DESCRIBED EASEMENTS 1 & 2 ARE OFF-SITE EASEMENTS EXISTING ON THE WEST SIDE OF QUINSIGAMOND AVENUE OPPOSITE ASHMONT AVENUE.
- SUBJECT TO AN ORDER OF CONDITIONS RECORDED ON 06/28/2019 IN BOOK 60635, PAGE 279, - BLANKET IN NATURE, NOT PLOTTABLE.
- SUBJECT TO ORDER OF TAKING FOR THE LAYING OUT OF ARWICK AVENUE RECORDED ON 07/23/1858 IN BOOK 2725 PAGE 404, DESCRIBES EMINENT DOMAIN TAKING OF ARWICK AVENUE, LIMITS OF ARWICK AVENUE SHOWN PER 2004 ALTERATION #7761.
- SUBJECT TO AN ORDER OF TAKING, KELLEY SQUARE RECORDED ON 06/27/2019 IN BOOK 60622 PAGE 89, - EASEMENTS SHOWN.

- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATION OF 449) PER REF. #2.

- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).

TEMPORARY BENCH MARK SET:

TBM-A: "X" CUT ON FIRE HYDRANT AT ELEVATION 451.26.

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

THIS SURVEY IS CERTIFIED TO:

75 Q LLC
PROCACCANTI COMPANIES
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 13, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



8-18-2021 DATE

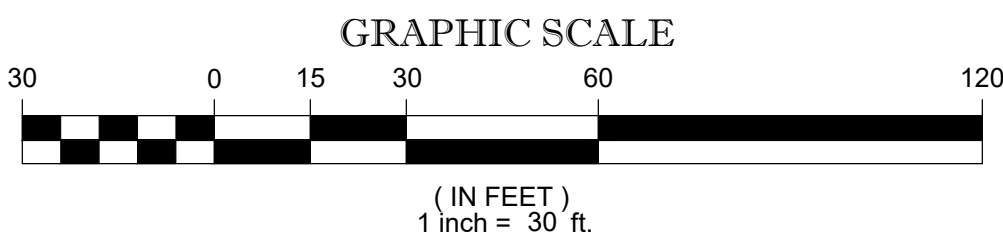
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	7-13-2021
FIELD BOOK NO.	21-07 MA
FIELD BOOK PG.	46
FIELD CREW	C.W.
DRAWN:	B.A.V.
REVIEWED:	G.L.H.
APPROVED:	G.L.H.
DATE	8-18-2021
SCALE	1" = 30'
FILE NO.	03-190116-01
DWG. NO.	1 OF 5

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WWW.CPASURVEY.COM
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-880-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-657-3999
WARREN, NJ 908-668-0999

SEE SHEETS 2-4 OF 5 FOR TOPOGRAPHIC DETAIL

SEE SHEET 5 OF 5 FOR PROPERTY DESCRIPTION AND REFERENCES



ASHMONT AVENUE
(PUBLIC - 40' WIDTH)

ARWICK AVENUE
(PUBLIC - VARIABLE WIDTH)
(2004 ALTERATION - LAYOUT #7761)

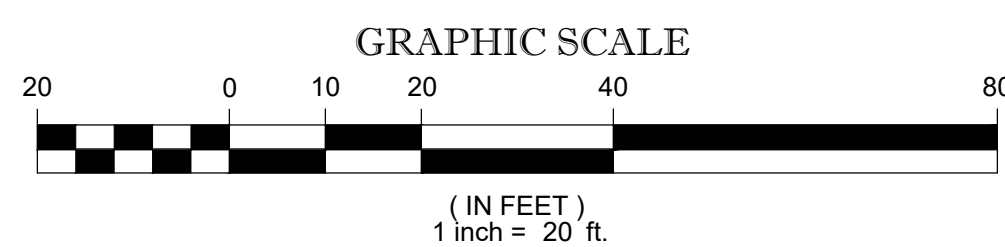
QUINSIGAMOND AVENUE
(PUBLIC - VARIABLE WIDTH)
(2004 ALTERATION - LAYOUT #7761)

LEGEND

--- 124 ---	EXISTING CONTOUR	UPLP	UTILITY POLE/LIGHT POLE	LSA	LANDSCAPED AREA	SWL	SOLID WHITE LINE
--- 125 ---	EXISTING SPOT ELEVATION	STREET LIGHT	STREET LIGHT	MC	METAL COVER	SYL	SOLID YELLOW LINE
X 123.45	EXISTING TOP OF CURB ELEVATION	UTILITY POLE	UTILITY POLE	(TYP)	TYPICAL	DYL	DOUBLE YELLOW LINE
X 122.95	EXISTING GUTTER ELEVATION	MONITORING WELL	MONITORING WELL	DMH	DRAINAGE/STORM MANHOLE	DWL	DASHED WHITE LINE
	HYDRANT	TRAFFIC SIGNAL	TRAFFIC SIGNAL	EMH	ELECTRIC MANHOLE	INV	INVERT ELEVATION
	WATER VALVE	AREA LIGHT	AREA LIGHT	SMH	SANITARY/SEWER MANHOLE	GRT	GRATE ELEVATION
	OVERHEAD WIRES	SIGN	SIGN	TMH	TELEPHONE MANHOLE	UTO	UNABLE TO OPEN
--- W ---	APPROX. LOC. UNDERGROUND WATER LINE	BOLLARD	BOLLARD	UMH	UNKNOWN MANHOLE	TOH	TOP OF HOOD
--- G ---	APPROX. LOC. UNDERGROUND GAS LINE	CHAIN LINK FENCE	CHAIN LINK FENCE	CB	CATCH BASIN OR INLET	TOV	TOP OF VAULT
--- E ---	APPROX. LOC. UNDERGROUND ELECTRIC LINE	DEPRESSED CURB	DEPRESSED CURB	DWP	DETECTABLE WARNING PAD		
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE	EDGE OF CONCRETE	EDGE OF CONCRETE				
		EDGE OF PAVEMENT	EDGE OF PAVEMENT				
				(S)	SURVEY DIMENSION	[PARCEL I]	TITLE REPORT PARCEL
				(D)	DEED DIMENSION	(TRACT I)	DEED DESIGNATION
						#	TITLE REPORT EXCEPTION

SEE SHEET 1 OF 5 FOR OVERALL BOUNDARY & NOTES

SEE SHEET 5 OF 5 FOR PROPERTY DESCRIPTION AND REFERENCES



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75 Q LLC
PROACCANTI COMPANIES
FIRST AMERICAN TITLE INSURANCE COMPANY

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GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE
7-13-2021

FIELD BOOK NO.
21-07 MA

FIELD BOOK PG.
46

FIELD CREW
C.W.

DRAWN:
B.A.V.

REVIEWED:
G.L.H.

ALTA/NSPS LAND TITLE SURVEY
PROACCANTI COMPANIES

75 QUINSIGAMOND AVENUE 17 ASHMON AVENUE 3 ARWICK AVENUE
LOT 93, BLOCK 23, MAP 5 LOTS 69-70, BLOCK 23, MAP 5 LOT 76, BLOCK 23, MAP 5
71 QUINSIGAMOND AVENUE 15 ASHMON AVENUE
LOT 72, BLOCK 23, MAP 5 LOT 68, BLOCK 23, MAP 5
CITY OF WORCESTER, WORCESTER COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT
ASSOCIATES, INC.

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
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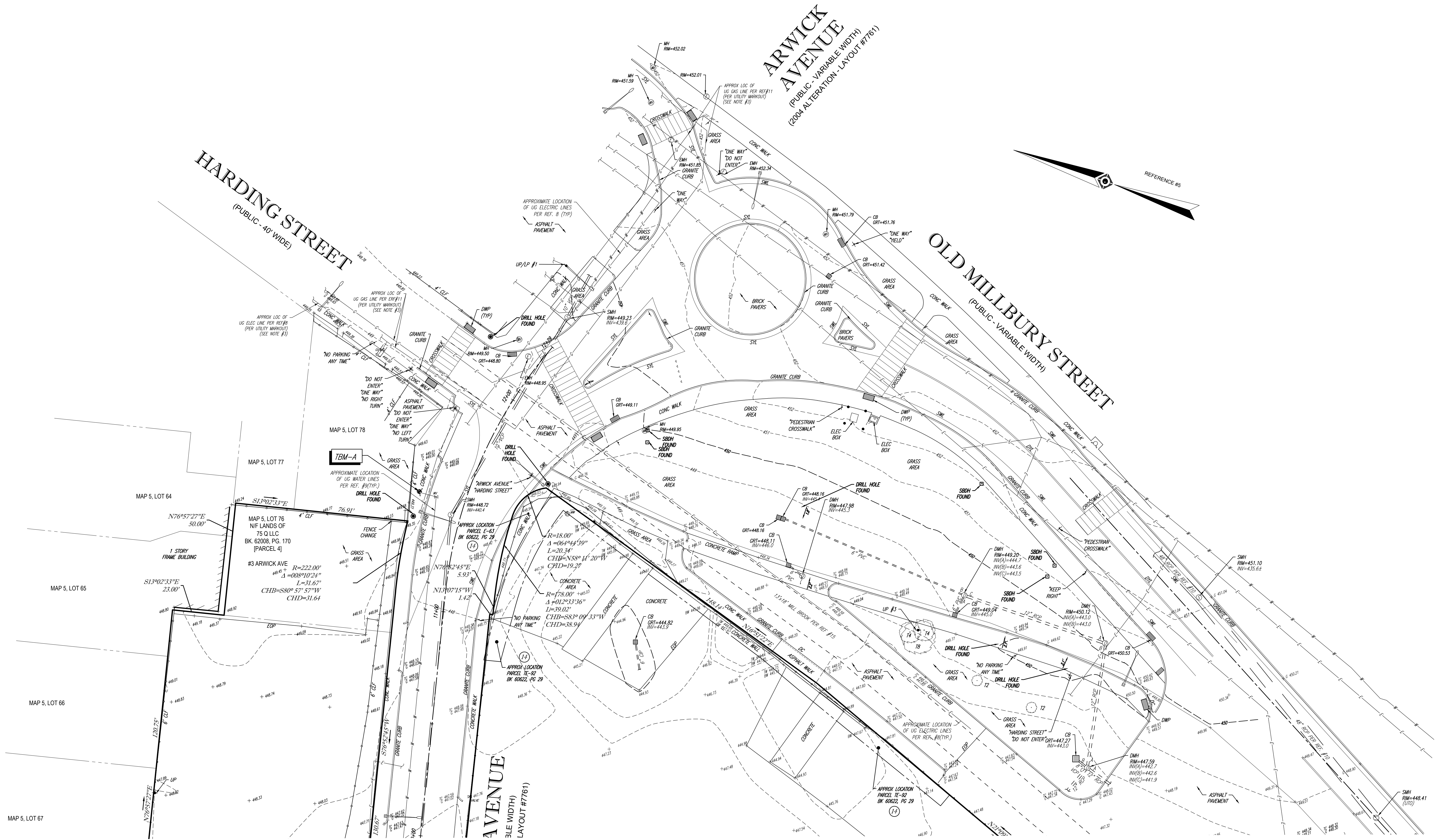
FILE NO.
03-190116-01

DATE
8-18-2021

SCALE
1" = 20'

DWG. NO.
2 OF 5

DATE
8-18-2021



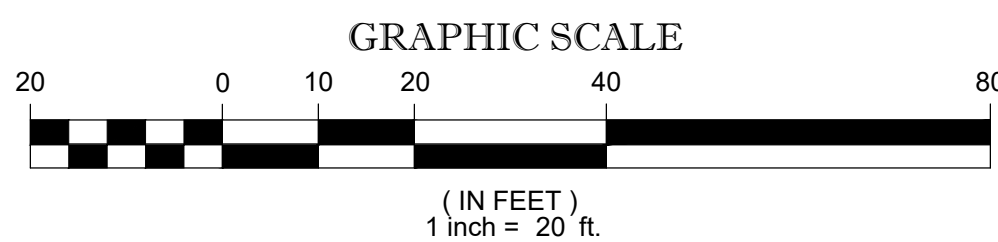
LEGEND

SEE SHEET 2

124	EXISTING CONTOUR	UTILITY POLE/LIGHT POLE	LANDSCAPED AREA	SWL	SOLID WHITE LINE
125	EXISTING SPOT ELEVATION	STREET LIGHT	METAL COVER	SYL	SOLID YELLOW LINE
126	EXISTING TOP OF CURB ELEVATION	UTILITY POLE	TYPICAL	DYL	DOUBLE YELLOW LINE
127	EXISTING GUTTER ELEVATION	MONITORING WELL	① DMH	DAWL	DASHED WHITE LINE
128	HYDRANT	TRAFFIC SIGNAL	② DMH	INV	INVERT ELEVATION
129	WATER VALVE	AREA LIGHT	③ SMH	GR	GRATE ELEVATION
130	GAS VALVE	SIGN	④ TMH	UTO	UNABLE TO OPEN
131	OVERHEAD WIRES	BOLLARD	⑤ MH	TOH	TOP OF HOOD
132	APPROX. LOC. UNDERGROUND WATER LINE	CHAIN LINK FENCE	⑥ CB	TOV	TOP OF VAULT
133	APPROX. LOC. UNDERGROUND GAS LINE	DEPRESSED CURB	⑦ CB	DWP	DETECTABLE WARNING PAD
134	APPROX. LOC. UNDERGROUND ELECTRIC LINE	EDGE OF CONCRETE	(S)	[PARCEL I]	TITLE REPORT PARCEL
135	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE	EDGE OF PAVEMENT	(D)	(TRACT I)	DEED DESIGNATION
				⑧	TITLE REPORT EXCEPTION

SEE SHEET 1 OF 5 FOR OVERALL BOUNDARY & NOTES

SEE SHEET 5 OF 5 FOR PROPERTY DESCRIPTION AND REFERENCES



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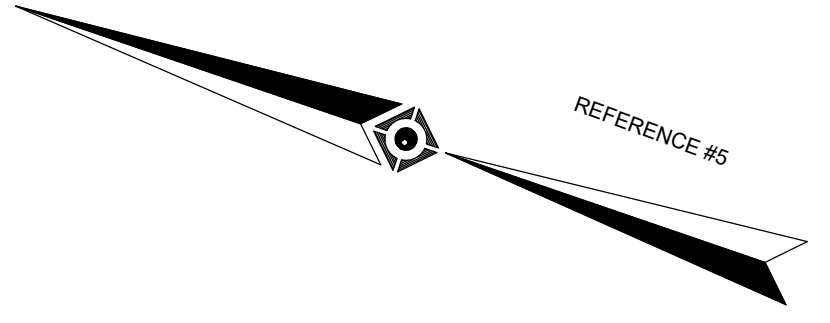
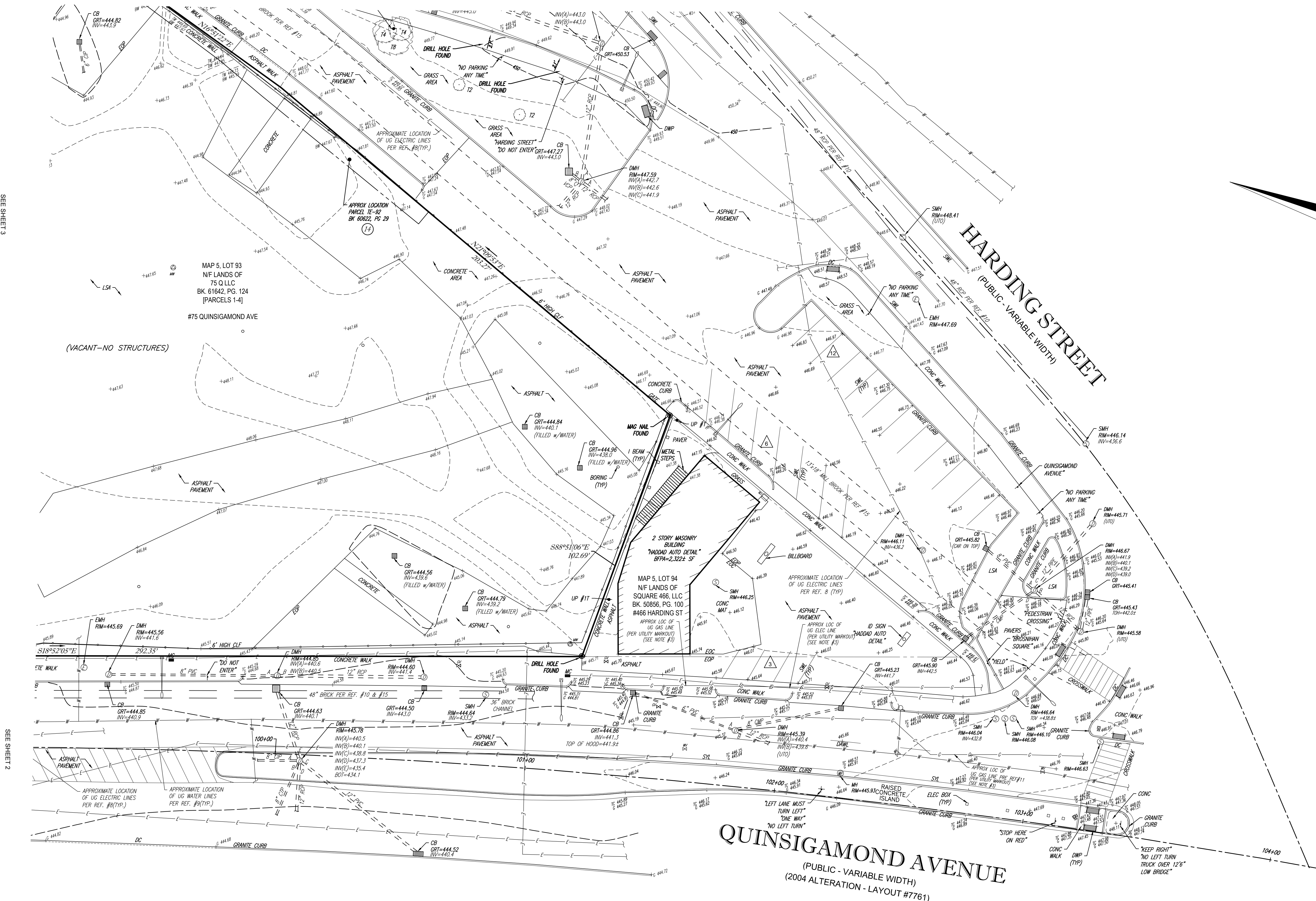
GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE 7-13-2021	ALTA/NSPS LAND TITLE SURVEY PROCACCANTI COMPANIES
FIELD BOOK NO. 21-07 MA	75 QUINSIGAMOND AVENUE LOT 93, BLOCK 23, MAP 5 17 ASHMONT AVENUE LOTS 69+70, BLOCK 23, MAP 5 15 ASHMONT AVENUE LOT 76, BLOCK 23, MAP 5
FIELD BOOK PG. 46	71 QUINSIGAMOND AVENUE LOT 72, BLOCK 23, MAP 5 15 ASHMONT AVENUE LOT 68, BLOCK 23, MAP 5
FIELD CREW C.W.	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX WWW.CPASURVEY.COM
DRAWN: B.A.V.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-880-2645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2999 WARREN, NJ 908-668-0999
REVIEWED: G.L.H.	APPROVED: G.L.H.
DATE 8-18-2021	SCALE 1" = 20'
FILE NO. 03-190116-01	DWG. NO. 3 OF 5



















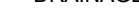






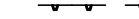










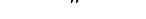






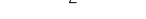





SEE SHEET 3

SEE SHEET 3

SEE SHEET 2



LEGEND

	EXISTING CONTOUR		UTILITY POLE/LIGHT POLE		LANDSCAPED AREA		SOLID WHITE LINE
	EXISTING SPOT ELEVATION		STREET LIGHT		METAL COVER		SOLID YELLOW LINE
	EXISTING TOP OF CURB ELEVATION		UTILITY POLE		TYPICAL		DOUBLE YELLOW LINE
	EXISTING GUTTER ELEVATION		MONITORING WELL		① DMH		DASHED WHITE LINE
	HYDRANT		TRAFFIC SIGNAL		② EMH		INVERT ELEVATION
	WATER VALVE		AREA LIGHT		③ SMH		GRATE ELEVATION
	GAS VALVE		SIGN		④ TMH		UNABLE TO OPEN
	OVERHEAD WIRES		CHAIN LINK FENCE		⑤ UMH		TOP OF HOOD
	APPROX. LOC. UNDERGROUND WATER LINE		DEPRESSED CURB		⑥ CB		TOP OF VAULT
	APPROX. LOC. UNDERGROUND GAS LINE		EDGE OF CONCRETE		⑦ CB		DETECTABLE WARNING PAD
	APPROX. LOC. UNDERGROUND ELECTRIC LINE		EDGE OF PAVEMENT		(S)	(PARCEL I)	TITLE REPORT PARCEL
	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE		EDGE OF PAVEMENT		(D)	(TRACT I)	DEED DESIGNATION
					(#)		TITLE REPORT EXCEPTION

SCHEDULE A - EXHIBIT A - LEGAL DESCRIPTION

PARCEL ONE

THE LAND IN WORCESTER, WORCESTER COUNTY, MASSACHUSETTS, TOGETHER WITH THE BUILDINGS SITUATED THEREON, ON THE EASTERLY SIDE OF QUINSIGAMOND AVENUE, IN THE SOUTHERLY PART OF WORCESTER IN THE SECTION KNOWN AS IRVINGTON, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A STONE MONUMENT ON SAID EASTERLY SIDE OF QUINSIGAMOND AVENUE, AT ITS INTERSECTION WITH THE SOUTHERLY SIDE OF ARWICK AVENUE;

THENCE SOUTHERLY,BY THE EASTERLY LINE OF QUINSIGAMOND AVENUE, NINETY THREE FEET (93);

THENCE EASTERLY, IN A LINE PARALLEL WITH SAID ARWICK AVENUE, ONE HUNDRED SIXTY ONE AND EIGHT TENTHS (161.8) FEET TO A MONUMENT;

THENCE NORTHEASTERLY FIFTY TWO AND EIGHT TENTHS (52.8) FEET TO A MONUMENT; THENCE NORTHERLY,FIFTY SEVEN AND TWO TENTHS (57.2) FEET TO A STONE MONUMENT;
THENCE WESTERLY BY SAID SOUTHERLY LINE OF ARWICK AVENUE TWO HUNDRED TEN (210') FEET TO THE POINT OF BEGINNING.

BEING LOTS 1 AND 2 ON A PLAN ENTITLED "PLAN OF LOTS OWNED BY M.J.KANE, DATED SEPT. 1907, RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS IN PLAN BOOK 33, PLAN 60.

PARCEL TWO

THE LAND IN SAID WORCESTER, SITUATED ON HARDING STREET AND QUINSIGAMOND AVENUE, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING, AT A POINT ON QUINSIGAMOND AVENUE NINETY THREE (93) FEET SOUTHERLY MEASURED ON QUINSIGAMOND AVENUE FROM THE INTERSECTION OF THE SOUTHERLY LINE OF ARWICK AVENUE AND THE EASTERLY LINE OF QUINSIGAMOND AVENUE;

THENCE SOUTHERLY THIRTEEN AND THREE TENTHS (13.3) FEET TO A POINT ON QUINSIGAMOND AVENUE;

THENCE SOUTHEASTERLY BY LAND NOW OR FORMERLY OF BRIDGE MEYLN TWO HUNDRED SIXTEEN AND THREE TENTHS (216.3) FEET TO A POINT ON HARDING STREET FORMERLY CALLED SOUTH HARDING STREET;

THENCE NORTHERLY BY THE WESTERLY LINE OF HARDING STREET EIGHTY TWO AND FIVE TENTHS (82.5) FEET TO A STONE MONUMENT;

THENCE STILL NORTHERLY BY THE WESTERLY LINE OF HARDING STREET SIXTY ONE AND ONE TENTH (61.1) FEET TO A STONE MONUMENT;

THENCE WESTERLY SEVENTY FOUR AND SIX TENTHS (74.6) FEET BY LAND NOW OR FORMERLY OF W.S. O'BRIEN AND BEING LOT NO.62 ON A PLAN HEREINAFTER REFERRED TO A STONE MONUMENT;

SAID PLAN BEING RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 1537, PAGE 653.

THENCE SOUTHWESTERLY BY LAND NOW OR FORMERLY OF ONE ARVIDSON FIFTY TWO AND EIGHT TENTHS (52.8) FEET TO A POINT;

THENCE WESTERLY BY SAID ARVIDSON LAND ONE HUNDRED SIXTY ONE AND EIGHT TENTHS (161.8) FEET TO THE POINT OF BEGINNING.

PARCEL THREE

THE LAND IN WORCESTER, TOGETHER WITH THE BUILDINGS THEREON,BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A STONE MONUMENT ON THE WESTERLY SIDE OF HARDING STREET AT THE INTERSECTION OF HARDING STREET AND ARWICK AVENUE;

THENCE WESTERLY BY THE SOUTHERLY LINE OF ARWICK AVENUE TEN AND FOUR TENTHS (10.4) FEET TO A STONE MONUMENT;

THENCE WESTERLY STILL BY THE SOUTHERLY LINE OF ARWICK AVENUE ONE HUNDRED EIGHT (108) FEET TO A STONE MONUMENT;

THENCE SOUTHERLY BY LOT 55 ON A PLAN HEREINAFTER REFERRED TO FIFTY-SEVEN AND TWO TENTHS (57.2) FEET TO A STONE MONUMENT;

THENCE EASTERLY BY LOT 61 SEVENTY FOUR AND SIX TENTHS (74.6) FEET TO STONE MONUMENT ON THE WESTERLY LINE OF HARDING STREET;

THENCE NORTHERLY BY THE WESTERLY LINE OF SAID HARDING STREET ONE HUNDRED FOUR (104) FEET TO THE POINT OF BEGINNING.

BEING LOT 62 DESCRIBED IN A PLAN OF LOTS DRAWN BY BUTTRICK & PRATT AND RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS,BOOK 1537, PAGE 653.

PARCEL FOUR

THE LAND IN SAID CITY OF WORCESTER, WITH ALL THE BUILDINGS AND PRIVILEGES AND APPURTENANCES THERETO BELONGING, SITUATED ON THE EASTERLY SIDE OF QUINSIGAMOND AVENUE AND ON THE WESTERLY SIDE OF SOUTH HARDING STREET, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF QUINSIGAMOND AVENUE AT OTHER LAND OF SHELL EASTERN PETROLEUM PRODUCTS,INC.;

THENCE BY SAID LAND S. 77° 09' E. ONE HUNDRED AND TWO AND 85/100 (102.85) FEET TO A POINT ON THE WESTERLY LINE OF SOUTH HARDING STREET;

THENCE N. 32° 54' E. ONE HUNDRED TWENTY ONE AND 80/100 (121.80) FEET TO A POINT AT LAND NOW OR FORMERLY OF ONE BALLARD, BY SAID LINE OF SOUTH HARDING STREET;

THENCE N. 60° 53' W. BY SAID BALLARD LAND TWO HUNDRED SIXTEEN AND 30/100 (216.30) FEET TO A POINT IN THE EASTERLY LINE OF QUINSIGAMOND AVENUE;

THENCE BY SAID LINE OF QUINSIGAMOND AVENUE S. 7° 12' E. ONE HUNDRED EIGHTY FIVE AND 80/100 (185.80) FEET TO THE POINT OF BEGINNING.

BEING LOT NO. 2 ON PLAN OF JOSEPH SWARTZ RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 2496, PAGE 383.

MEANING AND INTENDING TO DESCRIBE THE SAME PREMISES CONVEYED BY QUITCLAIM DEED DATED DECEMBER 30, 2010 AND RECORDED JANUARY 3,2011 IN BOOK 46913, PAGE 14.

LESS AND EXCEPTING THAT PORTION OF THE ABOVE--DESCRIBED PARCELS TAKEN BY ORDERS OF TAKING RECORDED IN BOOK 2725, PAGE 404 AND IN BOOK 60622, PAGE 89.

FOR TITLE REFERENCE SEE GROUND LEASE RECORDED HEREWITH.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF CITY OF WORCESTER, WORCESTER COUNTY, MASSACHUSETTS, MAP #5.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, WORCESTER COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 806 OF 1075," MAP NUMBER 25027C0806E, EFFECTIVE DATE: JULY 4, 2011.
3. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE CITY OF WORCESTER, WORCESTER COUNTY LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY C.A. MASJURE & ASSOCIATES, DATED DECEMBER 23, 1968, LAYOUT NO. 4765.
4. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE CITY OF WORCESTER, WORCESTER COUNTY ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS,," DATED JULY 16, 1969, LAYOUT NO. 5532.
5. MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE CITY OF WORCESTER, WORCESTER COUNTY ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF HIGHWAYS," PREPARED BY BRYANT ASSOCIATES, INC., DATED MAY 19, 2004, LAYOUT NO. 7761, PROJECT FILE NO. 600604.
6. MAP ENTITLED "PLAN OF LOTS OWNED BY M.J.KANE," PREPARED BY BUTTRICK & PRATT, DATED SEPTEMBER 1907, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS BOOK 33, PLAN 60.
7. MAP ENTITLED "PLAN OF PROPERTY IN WORCESTER, MASS. OWNED BY JOHN P. GLOWIK," PREPARED BY FRANCES B. THOMPSON, DATED AUGUST 7, 1968, FILED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 243, PLAN 76.
8. ELECTRIC FACILITY MAPPING PROVIDED BY NATIONAL GRID, DATED DECEMBER JUNE 3, 2019.
9. WATER FACILITY MAPPING, SHEET 166, OBTAINED FROM THE CITY OF WORCESTER GIS.
10. SEWER LAYOUT, SHEET 166, OBTAINED FROM THE CITY OF WORCESTER GIS.
11. "MAP ENTITLED "QUINSIGAMOND AVE, ASHMONT ST, ARWICK AVE, WORCESTER" PREPARED BY EVERSOURCE, DATED JUNE 13, 2019, PREPARED FOR GAS LAYOUT."
12. MAP ENTITLED "PLAN 01, BUILDING LOTS FOR THE BALLARD LAND," FILED IN THE WORCESTER COUNTY REGISTRY OF DEEDS IN BOOK 1537, PAGE 653.
13. MAP ENTITLED "PLAN OF PROPERTY IN WORCESTER, MASS. OWNED BY JOHN GLOWIK" DATED AUGUST 7, 1968, FILED IN THE WORCESTER COUNTY REGISTRY OF DEEDS IN BOOK 243, PLAN 76.
14. MAP ENTITLED "PLAN OF PROPERTY SURVEYED FOR RICHARD N. BRODSKY 7-9 ASHMONT AVENUE WEORCESTER, MASSACHUSETTS", PREPARED BY JARVIS LAND SURVEY, INC. DATED MARCH 2, 2018, RECORDED WITH THE WORCESTER COUNTY REGISTRY OF DEEDS IN BOOK 795 PLAN 66.
15. DEED TO NEW GARDEN PARK, INC. RECORDED IN IN THE WORCESTER COUNTY REGISTRY OF DEEDS IN BOOK 46913 ON PAGE 14.

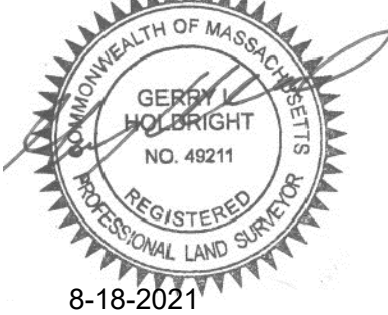
SEE SHEET 1 OF 5 FOR OVERALL BOUNDARY & NOTES

SEE SHEETS 2 THRU 4 OF 5 FOR TOPOGRAPHIC DETAIL


THIS SURVEY IS CERTIFIED TO:
75 Q LLC
PROCACCIANTI COMPANIES
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11, 13 & 14 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 13, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE 7-13-2021	ALTA/NSPS LAND TITLE SURVEY PROCACCIANTI COMPANIES			
FIELD BOOK NO. 21-07 MA	75 QUINSIGAMOND AVENUE LOT 93, BLOCK 23, MAP 5	17 ASHMONT AVENUE LOTS 69+70, BLOCK 23, MAP 5	3 ARWICK AVENUE LOT 76, BLOCK 23, MAP 5	
FIELD BOOK PG. 46	71 QUINSIGAMOND AVENUE LOT 72, BLOCK 23, MAP 5	15 ASHMONT AVENUE LOT 68, BLOCK 23, MAP 5		
FIELD CREW C.W.	CITY OF WORCESTER, WORCESTER COUNTY COMMONWEALTH OF MASSACHUSETTS			
DRAWN: B.A.V.	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM			
REVIEWED: G.L.H.	APPROVED: G.L.H.	DATE 8-18-2021	SCALE 1" = 20'	FILE NO. 03-190116-01
				DWG. NO. 4 OF 5

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